

KEY
 CONSERVATION AREA

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 SITE BOUNDARY LINES TO BE CONFIRMED BY ABERDEEN CITY COUNCIL.



HALLIDAY FRASER MUNRO
 CHARTERED ARCHITECTS & PLANNING CONSULTANTS

Project:
 BERRYDEN CORRIDOR IMPROVEMENT

Client:
 ABERDEEN CITY COUNCIL

Title:
 EXISTING SITE PLAN

Document Reference

Identification / Location	Project Code	Operator Code	Volume	Location / Level	Type	Role	Classification	Number
	11365	HFM	ZZ	ZZ	DR	A	SK(00)	007

Drawing Status: COMMENT **Revision**
A
Scale: 1:1000 @ A1 **Date:**
FEBRUARY 2020

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East side of The Fathers House (former Rosemount Parish Church)



East entrance to The Fathers House (former Rosemount Parish Church)



East entrance gates to The Fathers House (former Rosemount Parish Church); gates no longer open inwards due to change in ground level



Boundary wall of The Fathers House (Former Rosemount Parish Church) adjacent to Caroline Place



No. 2 Caroline Place to right, Nos 3&4 Caroline Place to left



Nos. 5 & 6 Caroline Place



No. 6 Caroline Place, external details



No. 6 Caroline Place, side elevation on to Hutcheon Street



Nos. 168 - 170 Hutcheon Street elevation Front elevation



No. 166 Hutcheon Street front elevation



North side of Hutcheon Street, No. 166 to centre of photo



Boundary wall of orchard and Royal Cornhill Hospital (to right) adjacent to Berryden Road



Boundary wall of Royal Cornhill Hospital(to left) adjacent to Berryden Road



Boundary wall of Royal Cornhill Hospital adjacent to Berryden Road



Boundary wall of Royal Cornhill Hospital adjacent to Berryden Road



Boundary wall of Royal Cornhill Hospital adjacent to Berryden Road



Boundary wall of Royal Cornhill Hospital adjacent to Berryden Road



Boundary wall of Royal Cornhill Hospital adjacent to Berryden Road

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Project:
BERRYDEN CORRIDOR IMPROVEMENT

Client:
ABERDEEN CITY COUNCIL

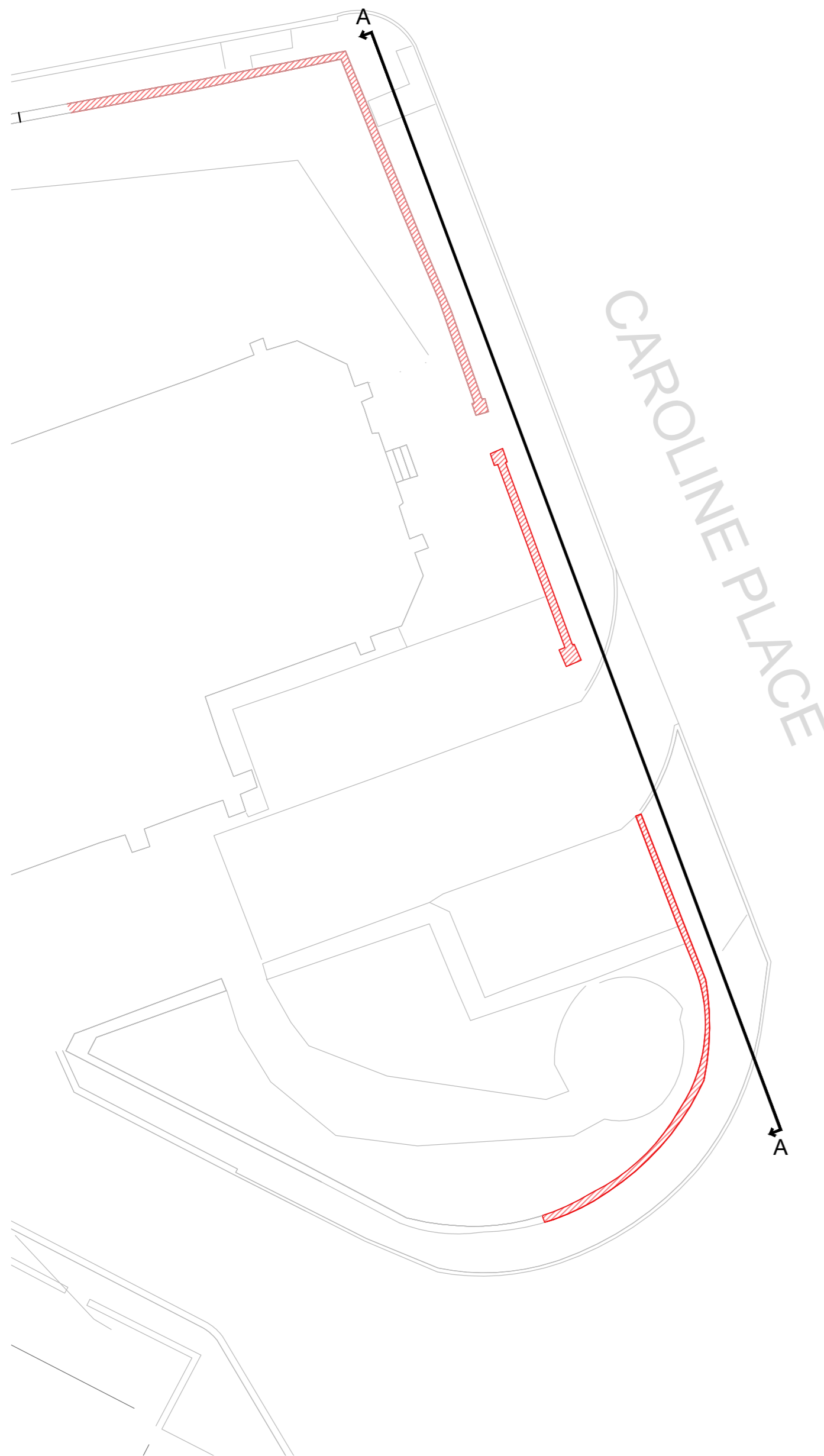
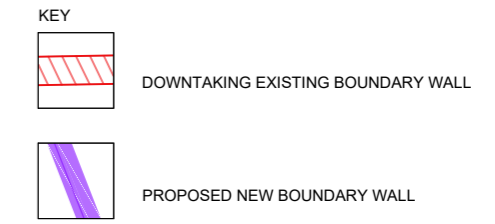
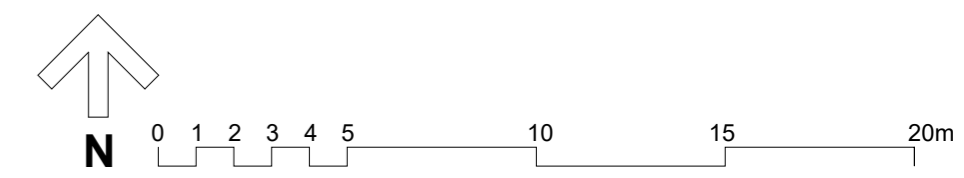
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EXISTING SITE PHOTOGRAPHS

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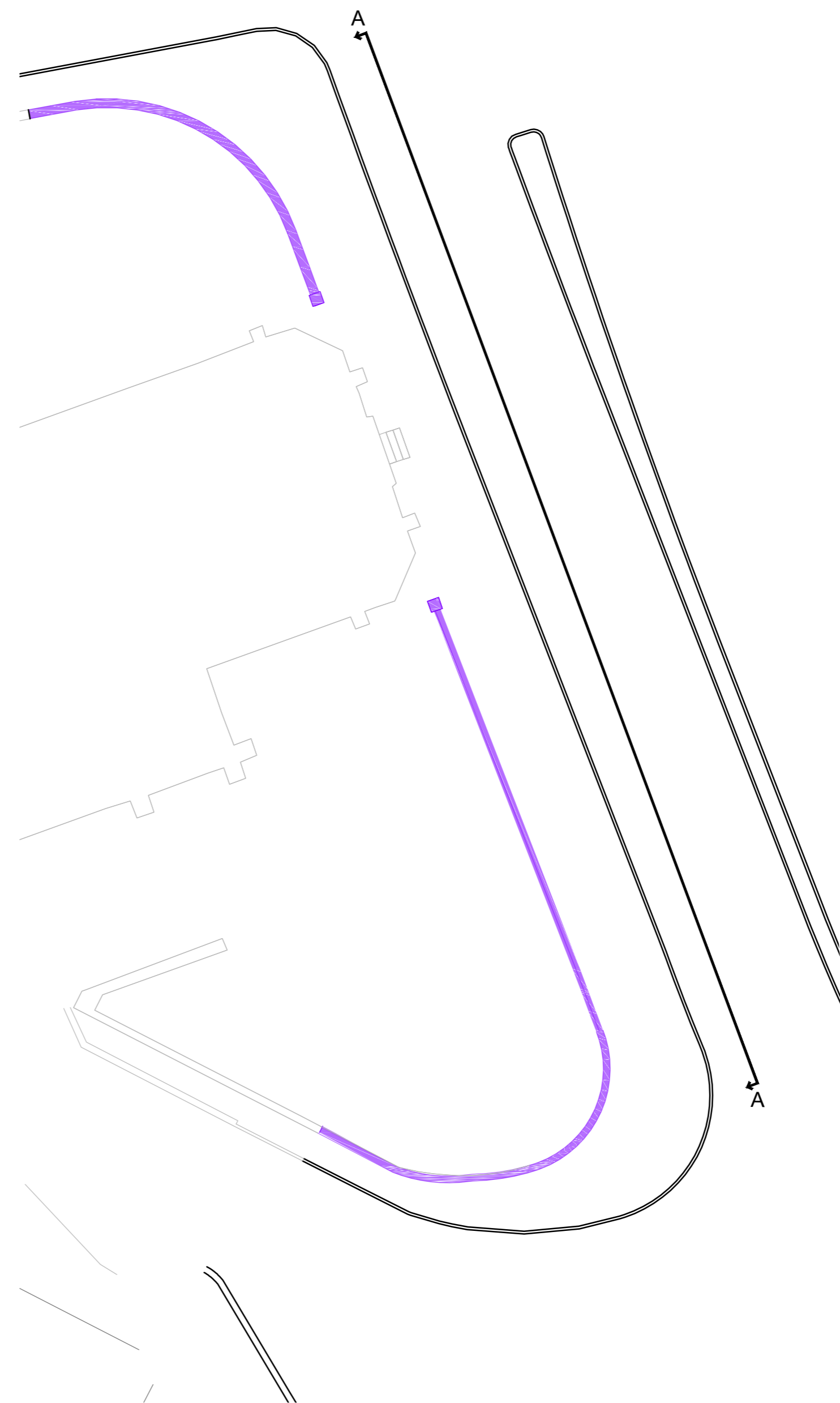
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Scale: NTS @ A1
Revision: A
Date: FEBRUARY 2020

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Existing boundary at Rosemount Church
Scale 1:200



Proposed boundary at Rosemount Church
Scale 1:200

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HEIGHT OF PROPOSED WALL TO MATCH THE HEIGHT OF EXISTING WALL.

PROPOSED LEVELS ARE INDICATIVE. DETAILED TOPOGRAPHICAL SURVEY REQUIRED.

HEIGHT OF EXISTING BUILDINGS ARE APPROXIMATE. MEASURED SURVEY REQUIRED.

TREE REMOVAL PLAN TO BE PROVIDED BY OTHERS.

SITE BOUNDARY LINES TO BE CONFIRMED BY ABERDEEN CITY COUNCIL.



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Project:
BERRYDEN CORRIDOR IMPROVEMENT

Client:
ABERDEEN CITY COUNCIL

Title:
THE FATHERS HOUSE (FORMER ROSEMOUNT PARISH CHURCH)
EASTERN BOUNDARY WALL - PLAN

Identification / Location						Drawing Number	
Project Code	Originator Code	Volume	Location / Level	Type	Role	Classification	Number
11365	HFM	- ZZ	- ZZ	- DR	- A	- SK(00)	010

Drawing Status: COMMENT
Revision: A

Scale: 1:200 @ A2
Date: FEBRUARY 2020

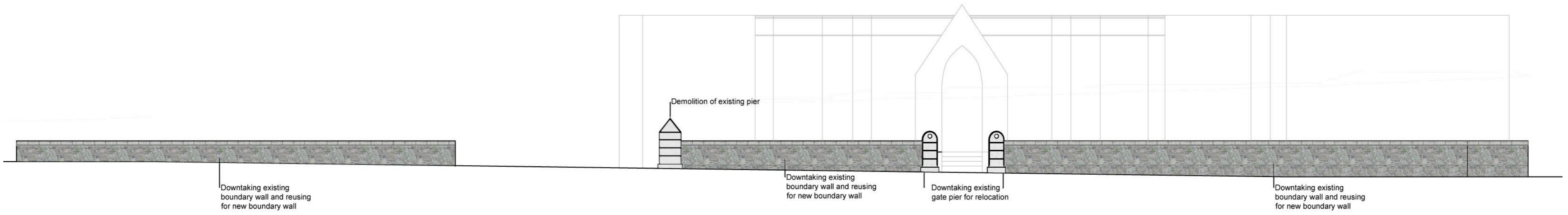
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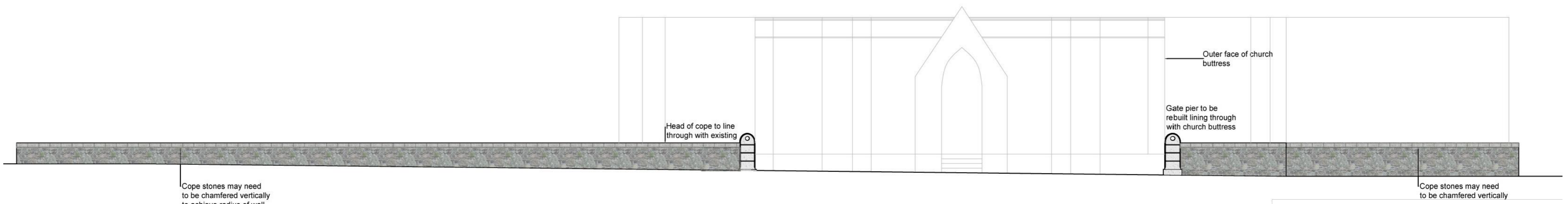
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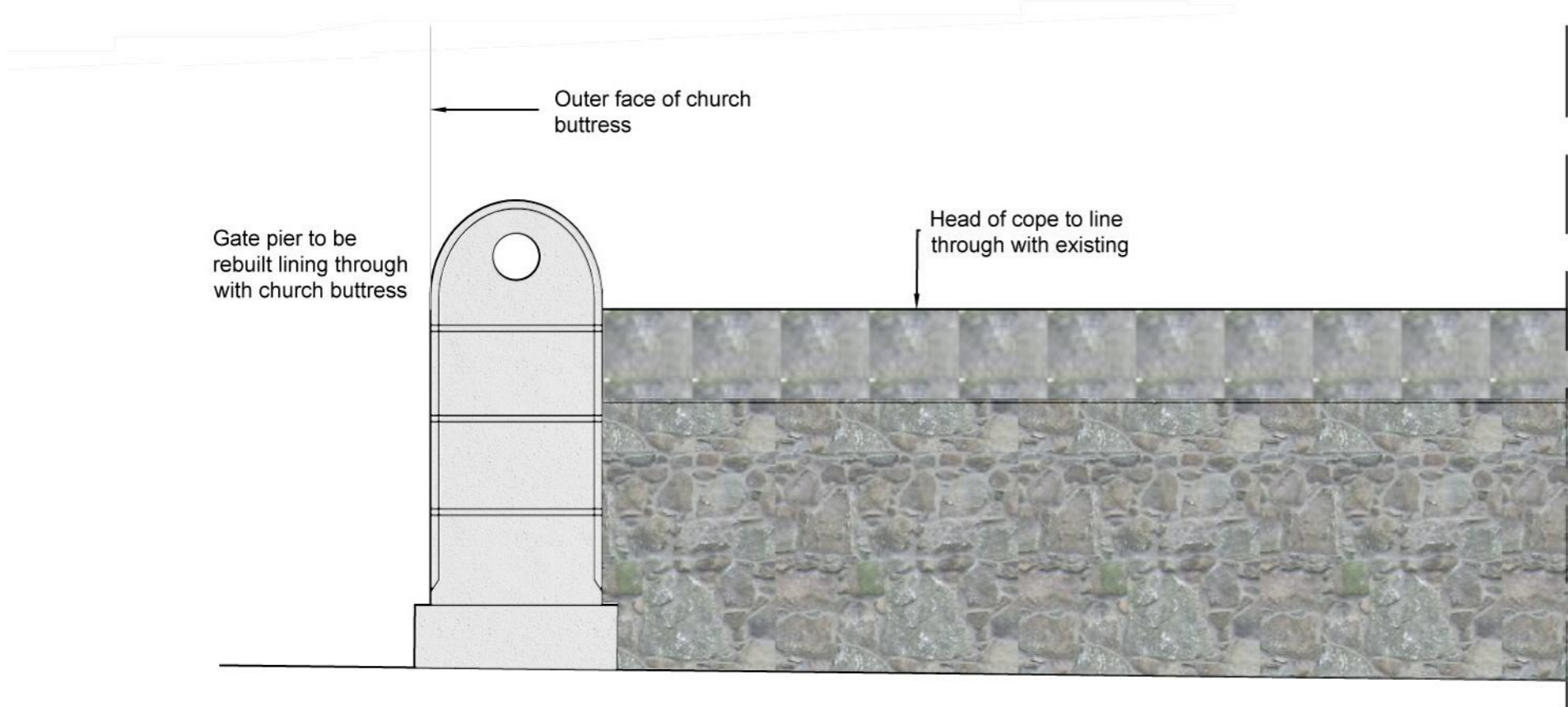
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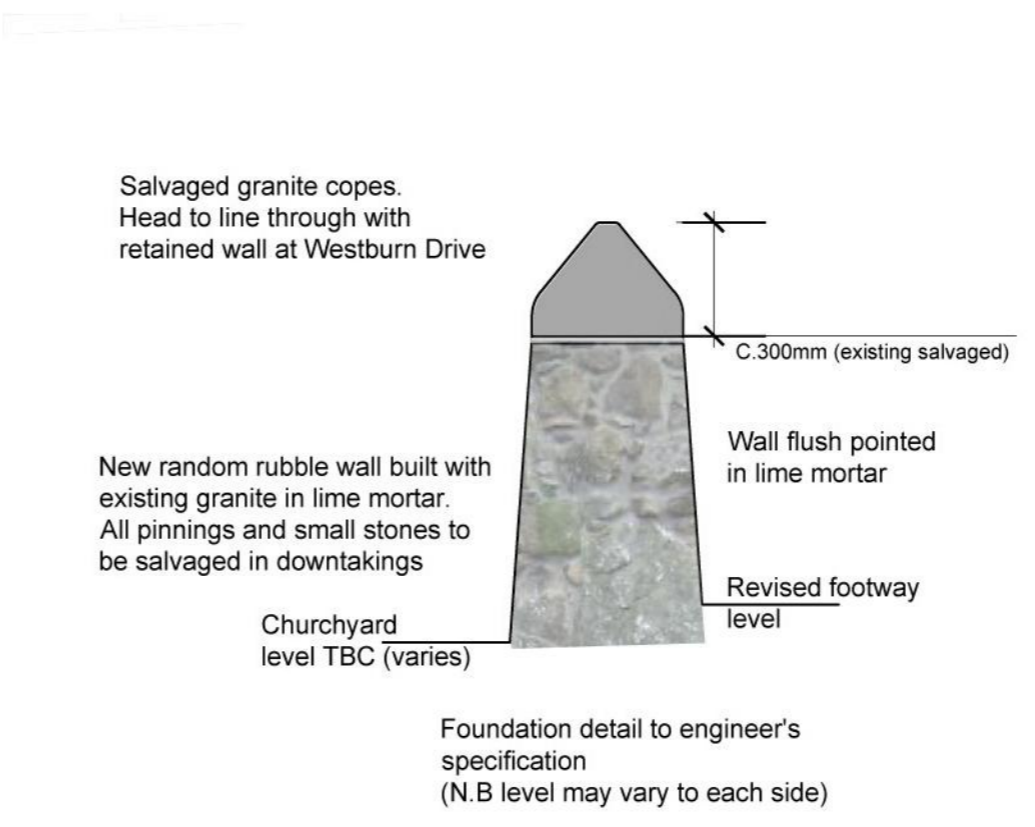
East Elevation (Elevation A-A) - Existing wall boundary and location of pier
Scale 1:100



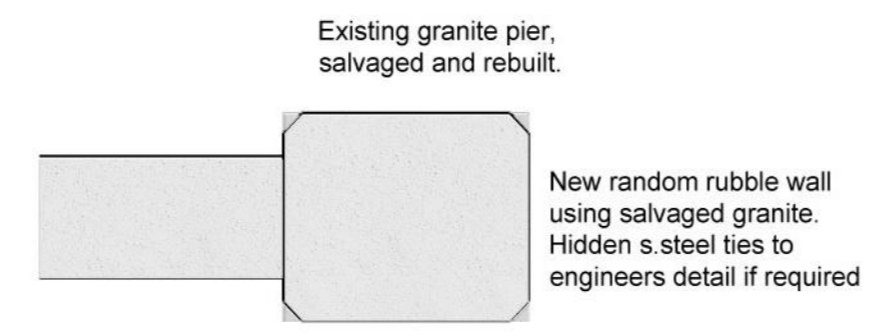
East Elevation (Elevation A-A) - Proposed wall boundary and location of pier
Scale 1:100



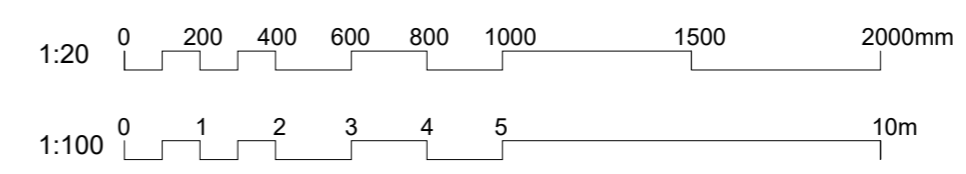
Typical section of boundary wall at The Fathers House (former Rosemount Parish Church)
Scale 1:20



Typical section of boundary wall at The Fathers House (former Rosemount Parish Church)
Scale 1:20



Plan view of gate pier
Scale 1:20



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Project:
 BERRYDEN CORRIDOR IMPROVEMENT

Client:
 ABERDEEN CITY COUNCIL

Title:
 THE FATHERS HOUSE (FORMER ROSEMOUNT PARISH CHURCH)
 EASTERN BOUNDARY WALL - ELEVATIONS

Identification / Location		Drawing Number	
Project Code	Originator Code	Volume	Location / Level
11365	HFM	- ZZ	- ZZ
Classification		Number	
DR	A	SK(00)	011

Drawing Status:
 COMMENT
 Revision A

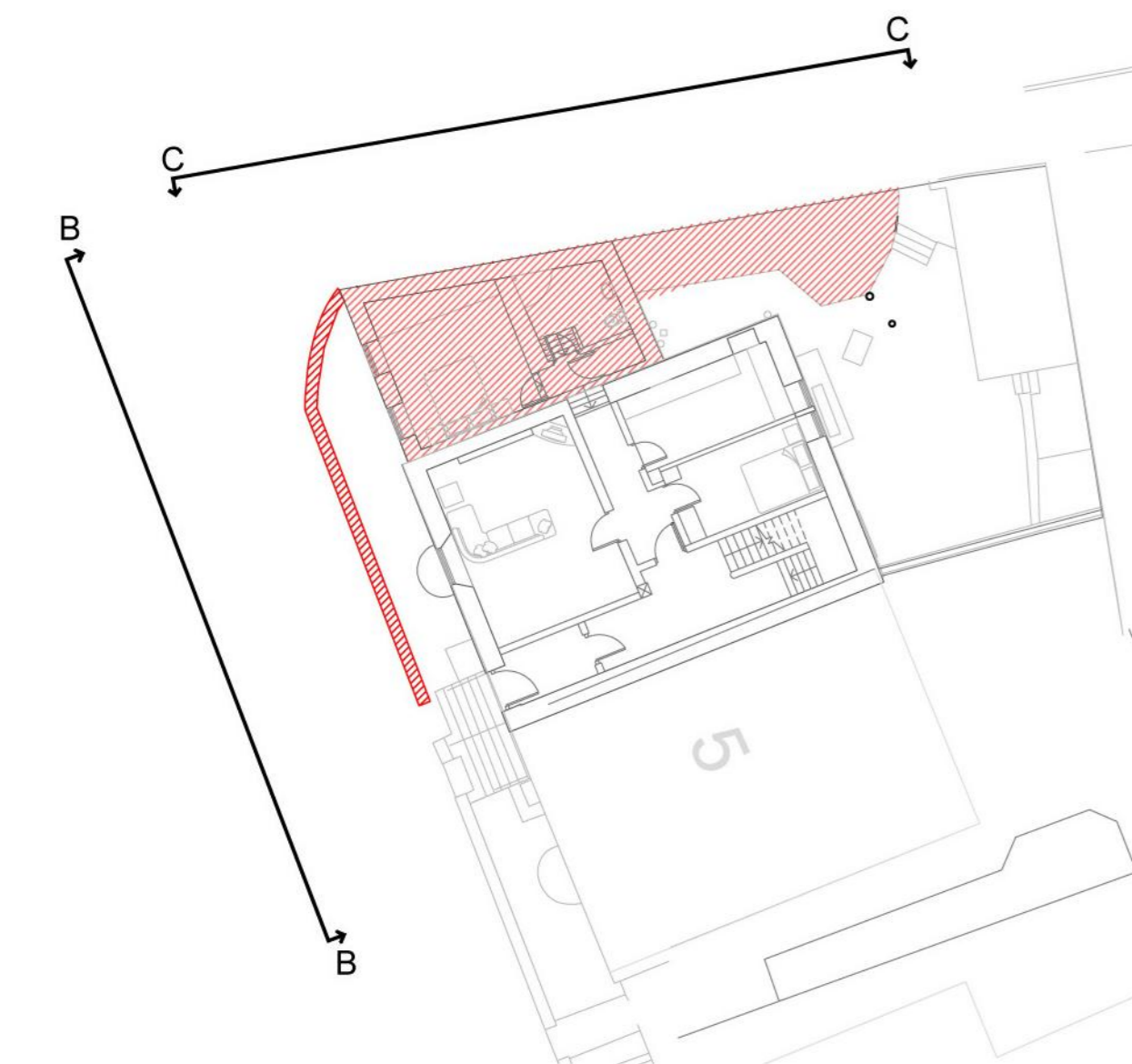
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 AS INDICATED @ A2

Date:
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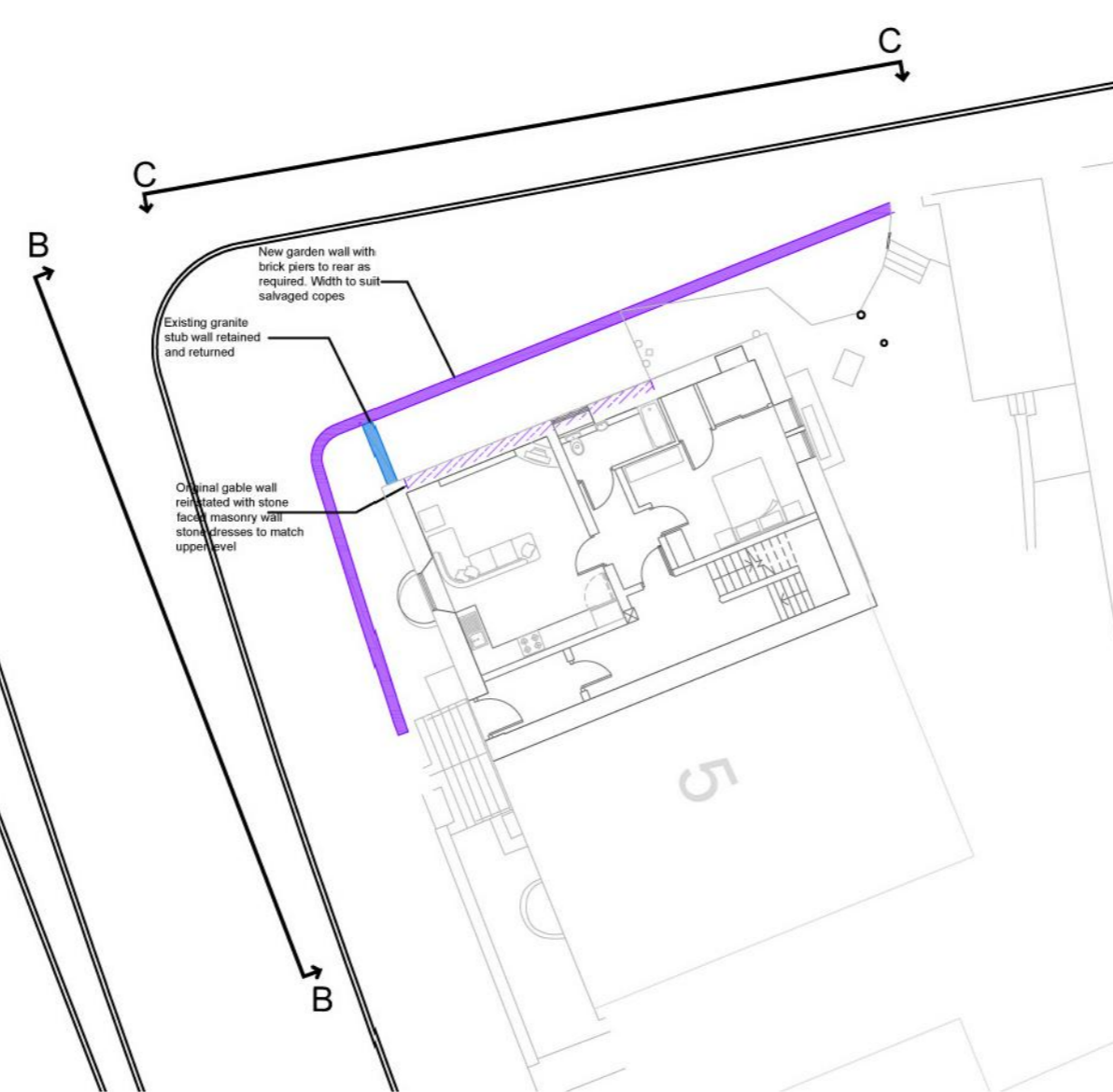
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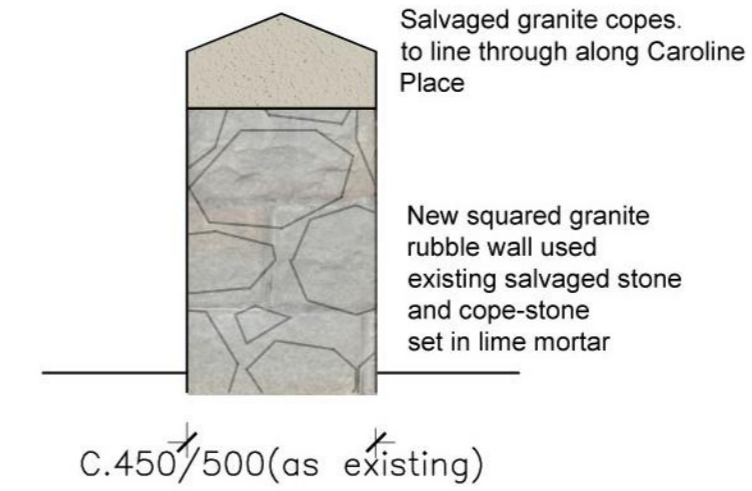
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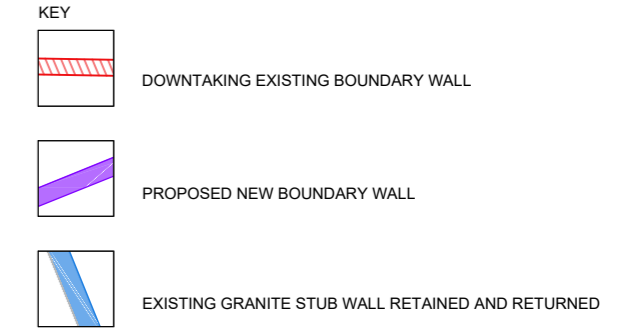
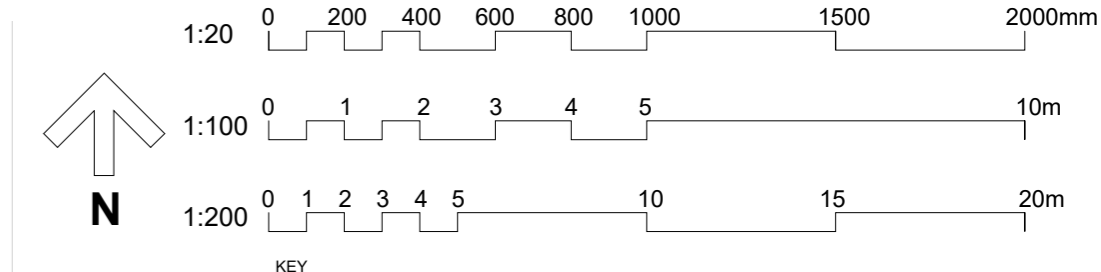
Existing floor plan layout of No.6 Caroline Place with dntakings
Scale 1:200



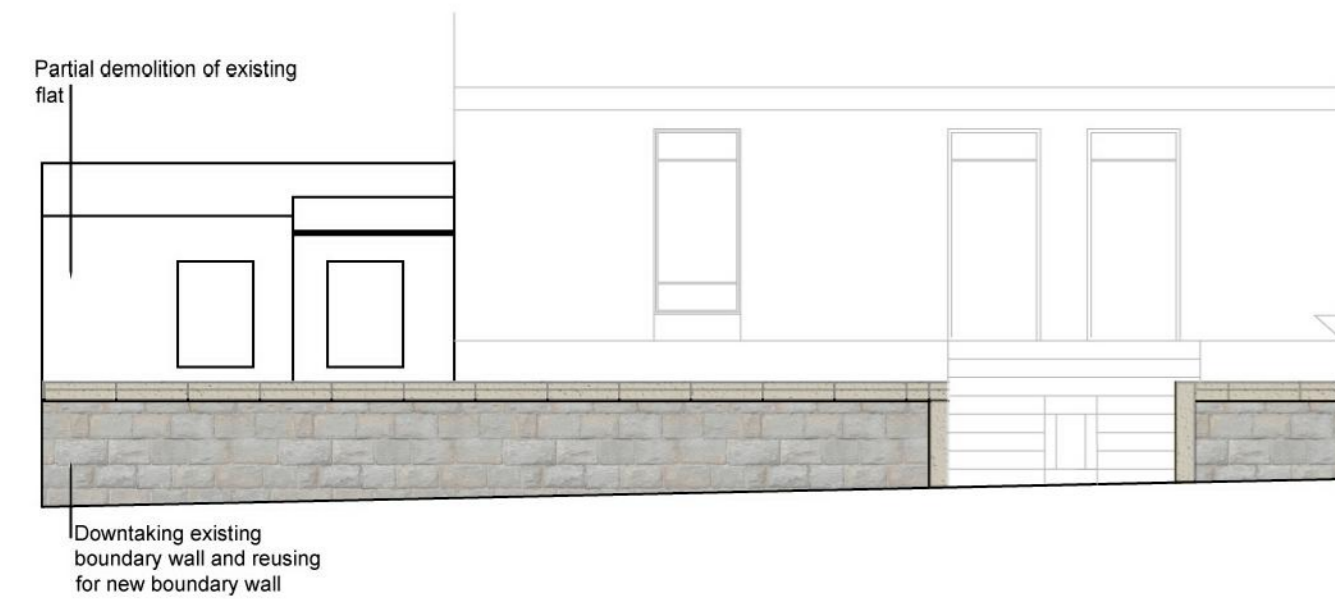
Proposed floor plan layout of No.6 Caroline Place
Scale 1:200



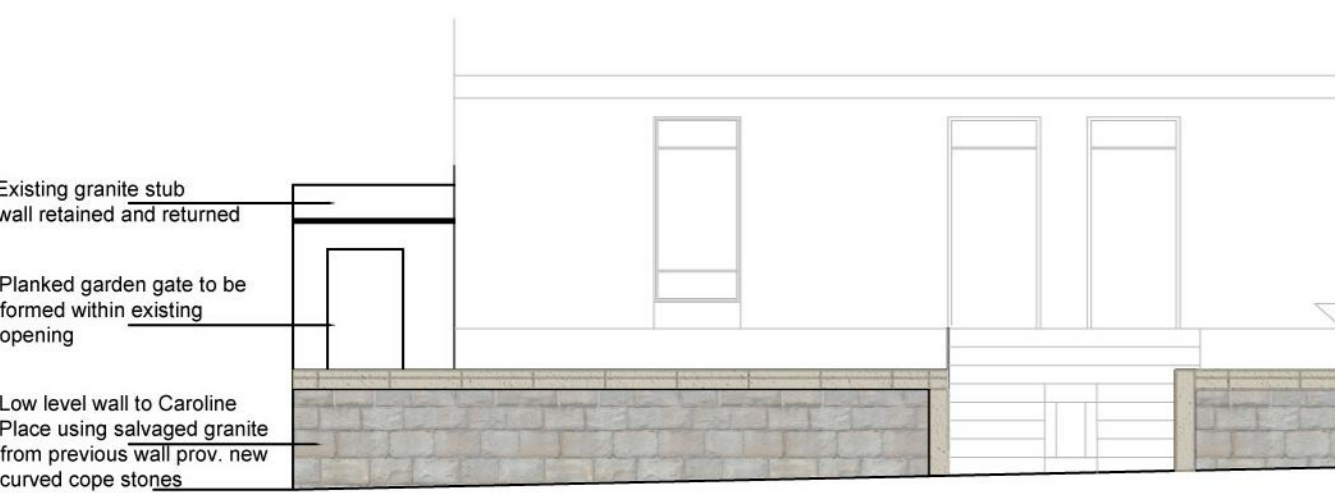
Typical section of boundary at No.6 Caroline Place
Scale 1:20



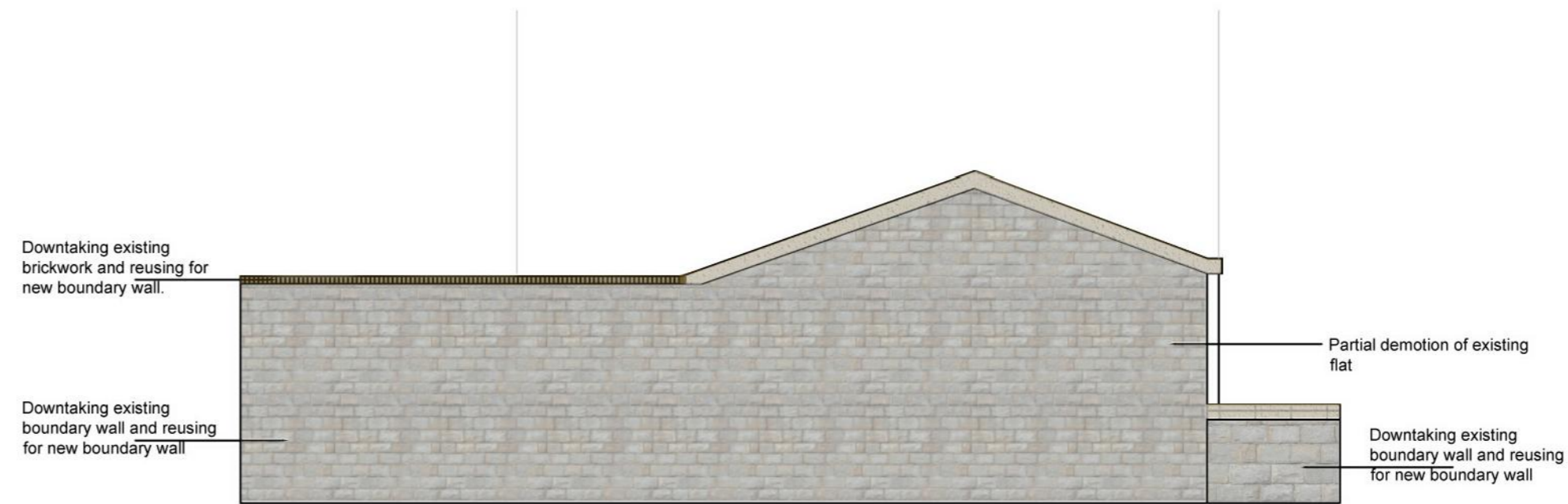
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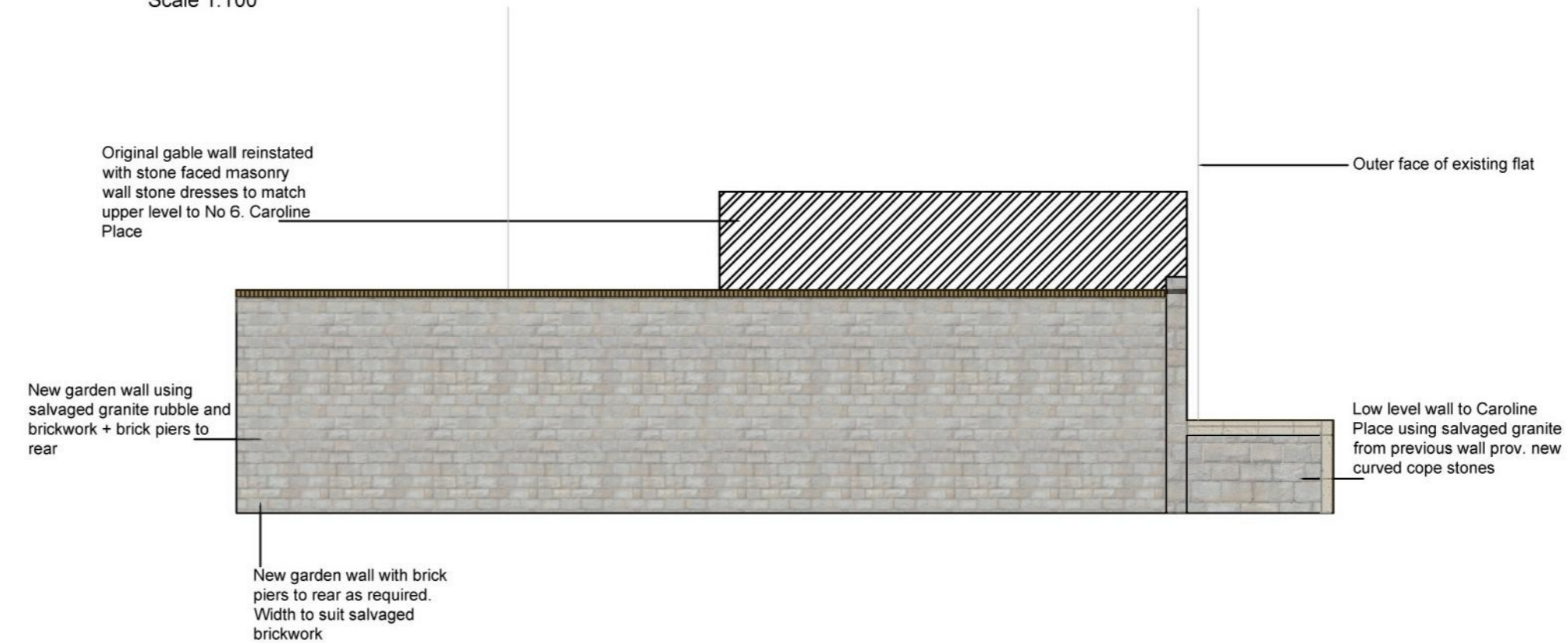
West Elevation (Elevation B-B) - Existing boundary wall of No.6 Caroline Place
Scale 1:100



West Elevation (Elevation B-B) - Proposed boundary wall of No.6 Caroline Place
Scale 1:100



North Elevation (Elevation C-C) - Existing boundary wall of No.6 Caroline Place
Scale 1:100



North Elevation (Elevation C-C) - Proposed boundary wall of No.6 Caroline Place
Scale 1:100



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Project:
 BERRYDEN CORRIDOR IMPROVEMENT

Client:
 ABERDEEN CITY COUNCIL

Title:
 NO. 6 CAROLINE PLACE
 BOUNDARY WALL

Identification / Location		Drawing Number	
Project Code	Originator Code	Volume	Location / Level
11365	HFM	- ZZ	- ZZ
Classification		Number	
DR - A		SK(00) 012	

Drawing Status:
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Scale:
 AS INDICATED @ A2

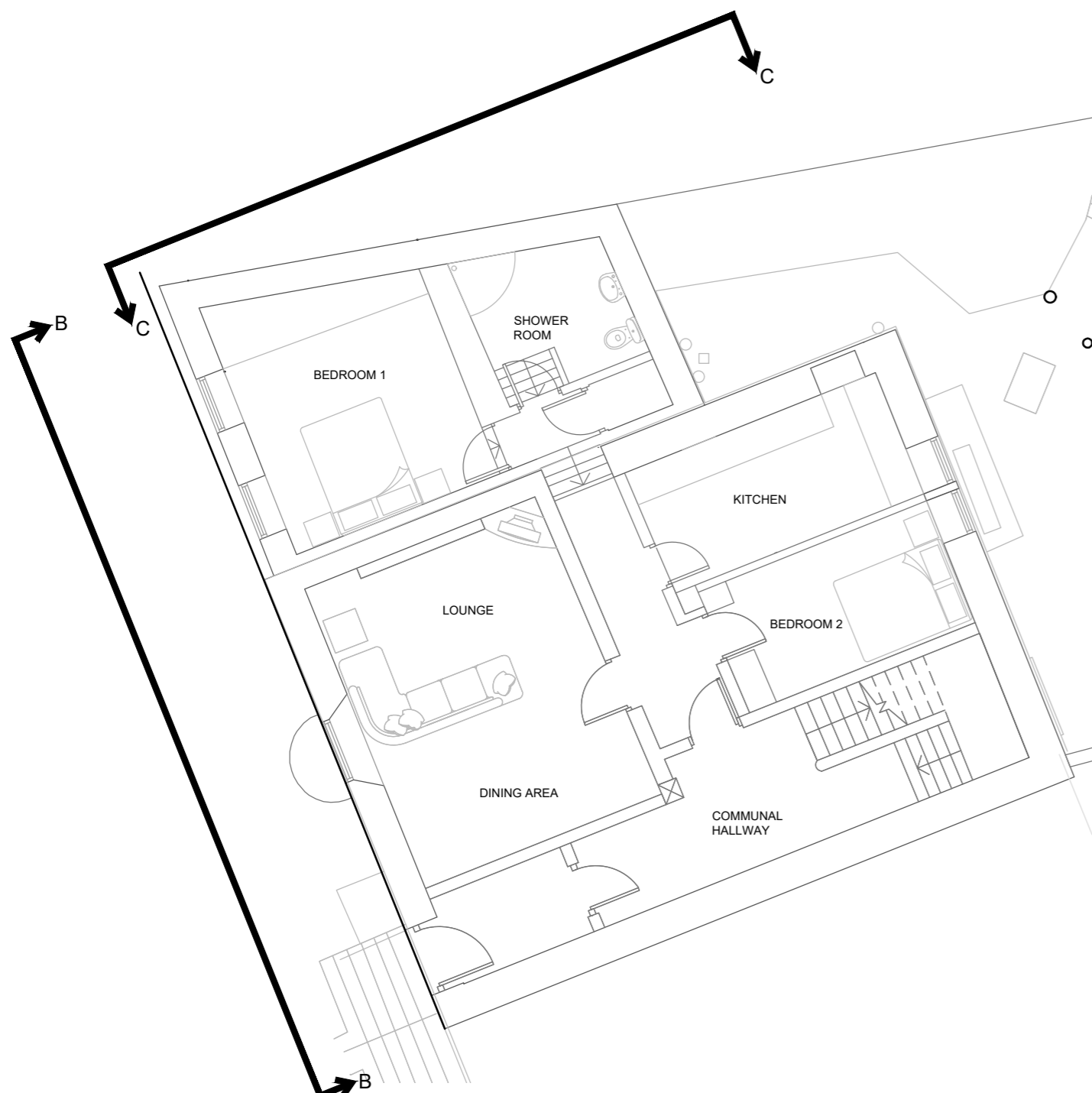
Revision
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Date:
 FEBRUARY 2020

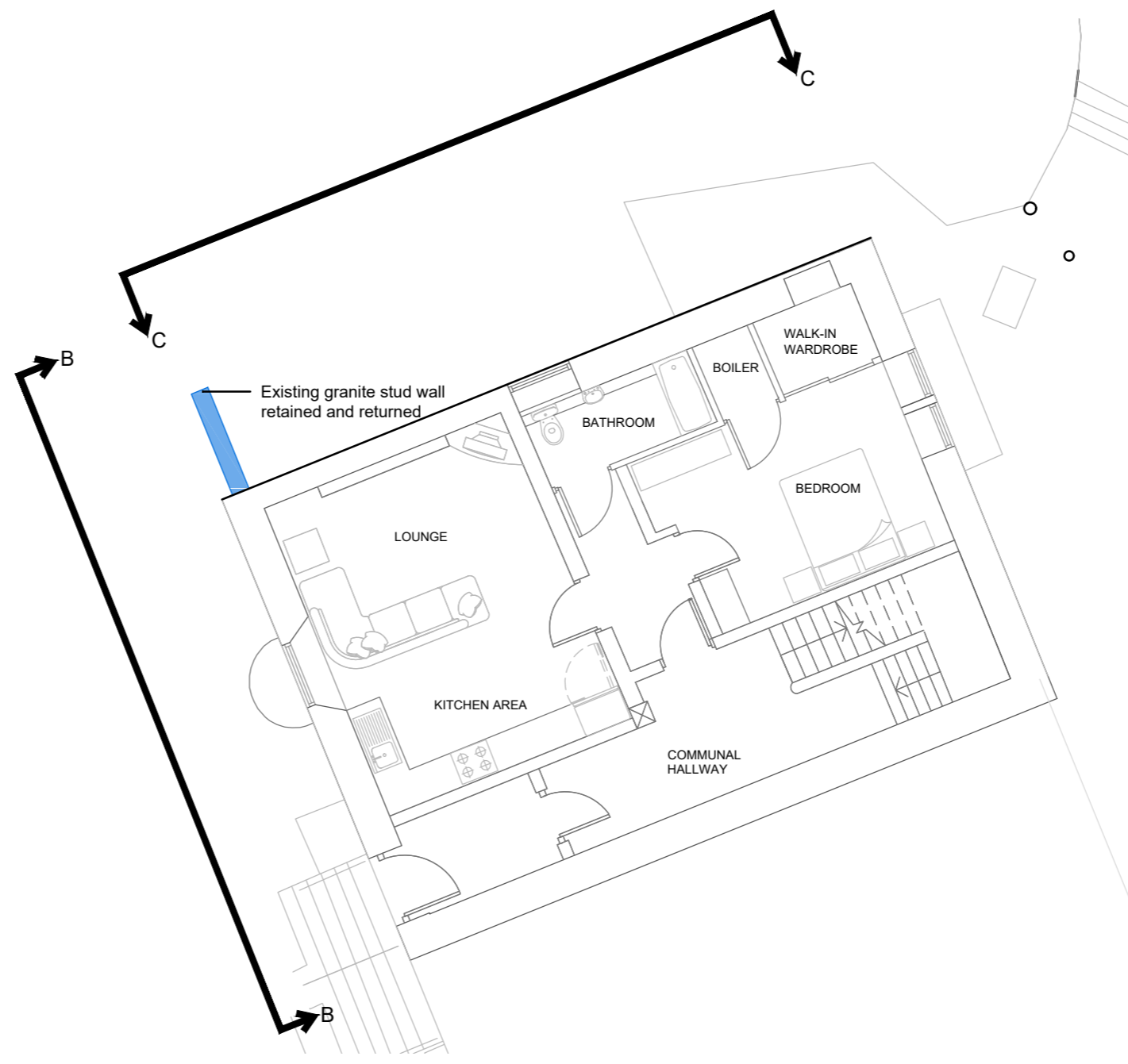
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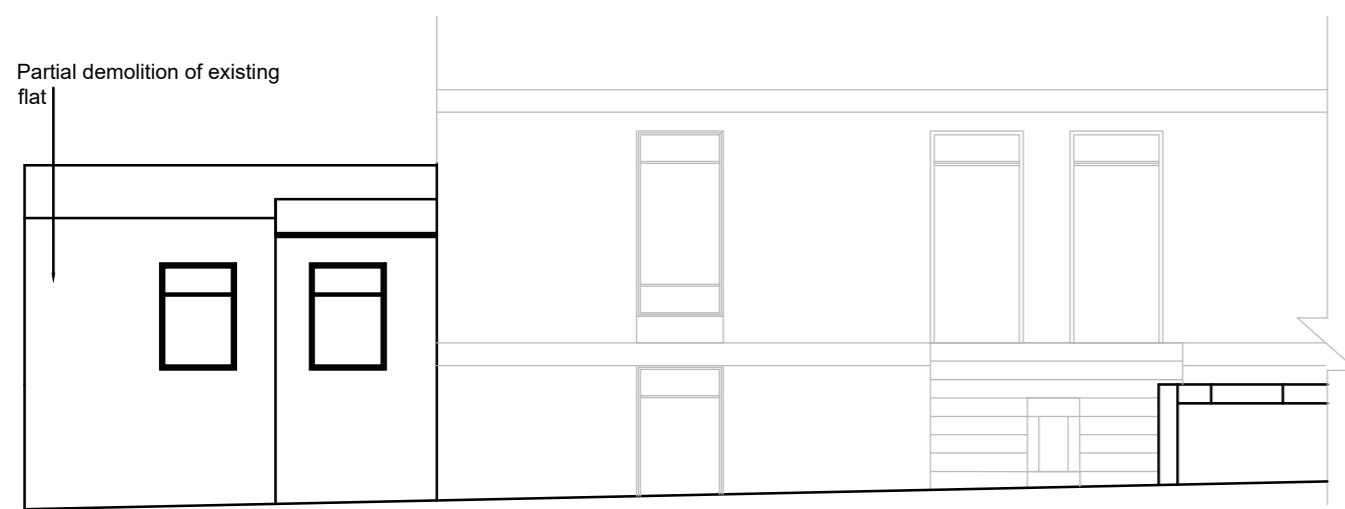
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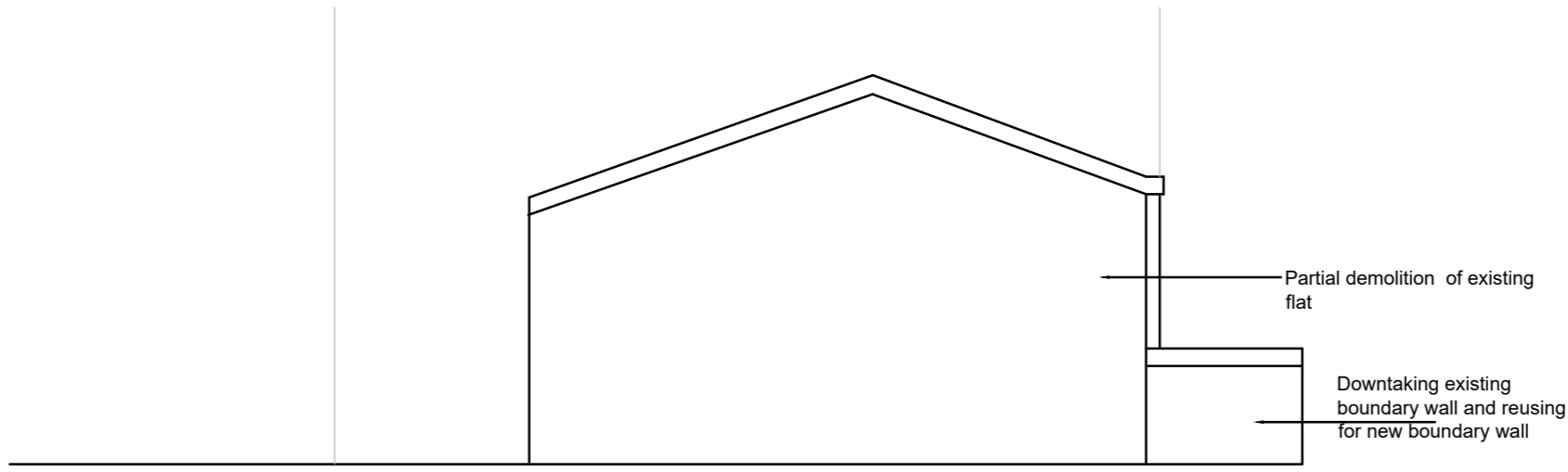
Existing ground floor plan of No.6 Caroline Place
Scale 1:100



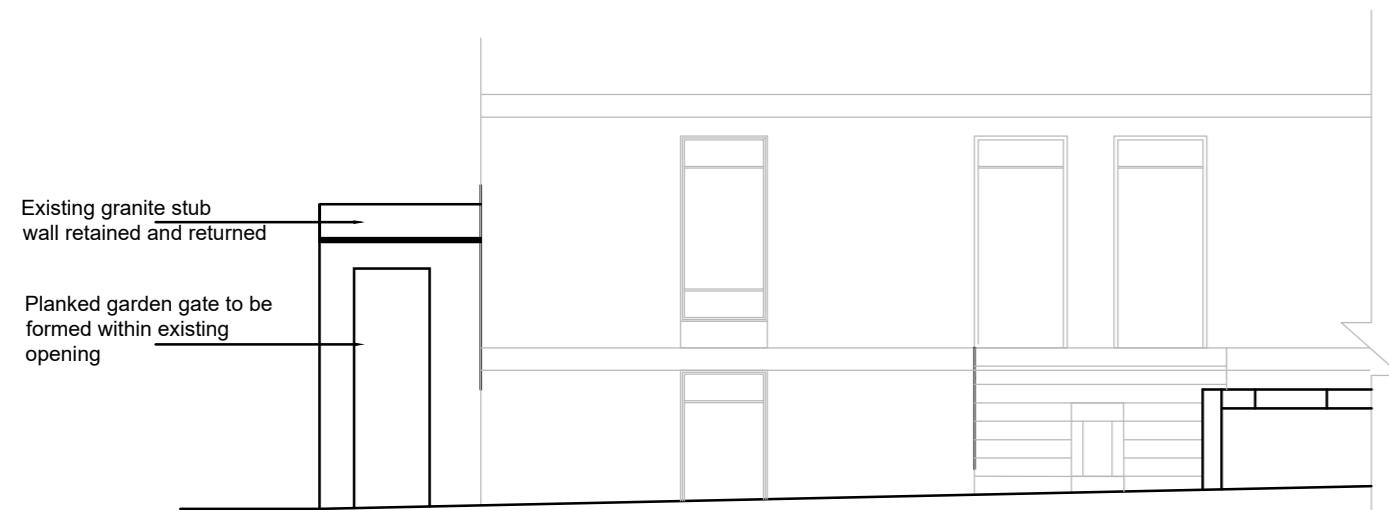
Proposed ground floor plan of No.6 Caroline Place
Scale 1:100



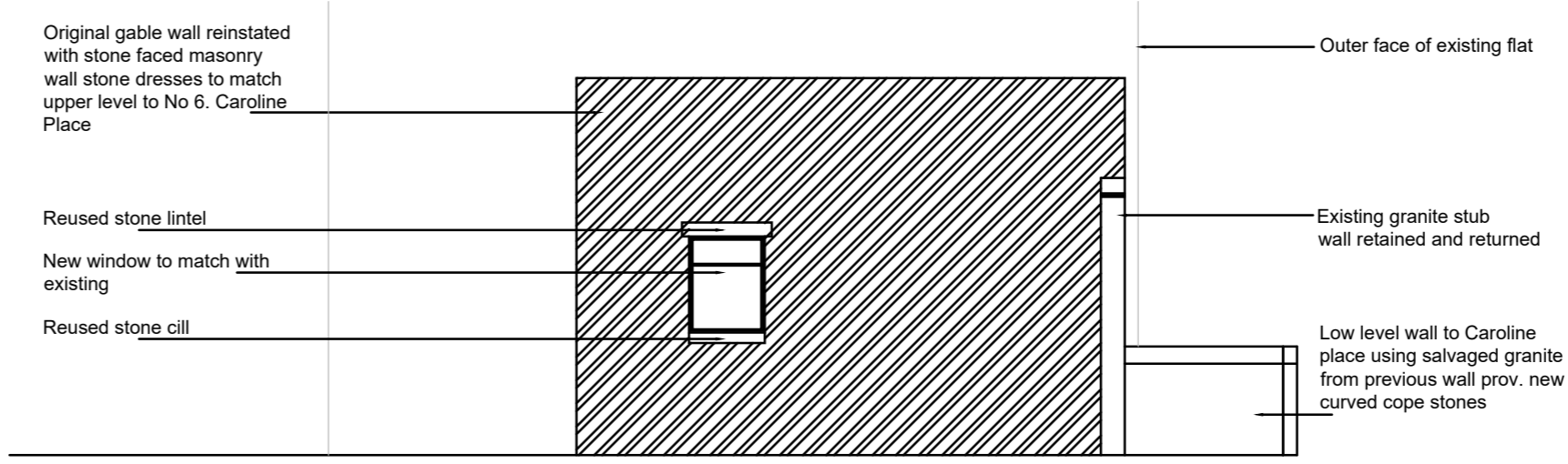
Existing West Elevation (Elevation B-B) of No.6 Caroline Place
Scale 1:100



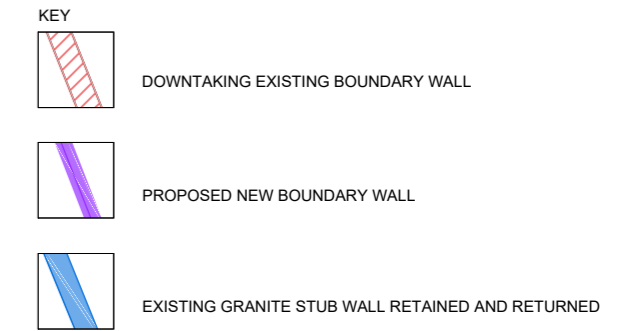
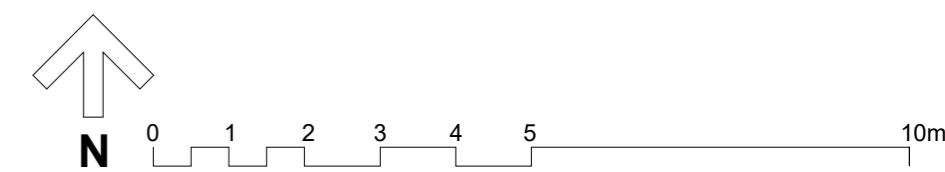
Existing North Elevation (Elevation C-C) of No.6 Caroline Place
Scale 1:100



Proposed West Elevation (Elevation B-B) of No.6 Caroline Place
Scale 1:100



Proposed North Elevation (Elevation C-C) of No.6 Caroline Place
Scale 1:100



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Project:
BERRYDEN CORRIDOR IMPROVEMENT

Client:
ABERDEEN CITY COUNCIL

Title:
NO. 6 CAROLINE PLACE

Document Reference		Identification / Location		Drawing Number	
Project Code	Originator Code	Volume	Location / Level	Type	Revision
11365	HFM	- ZZ	- ZZ	- DR	A - SK(00) 013

Drawing Status:
COMMENT

Revision
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Scale:
1:100 @ A2

Date:
FEBRUARY 2020

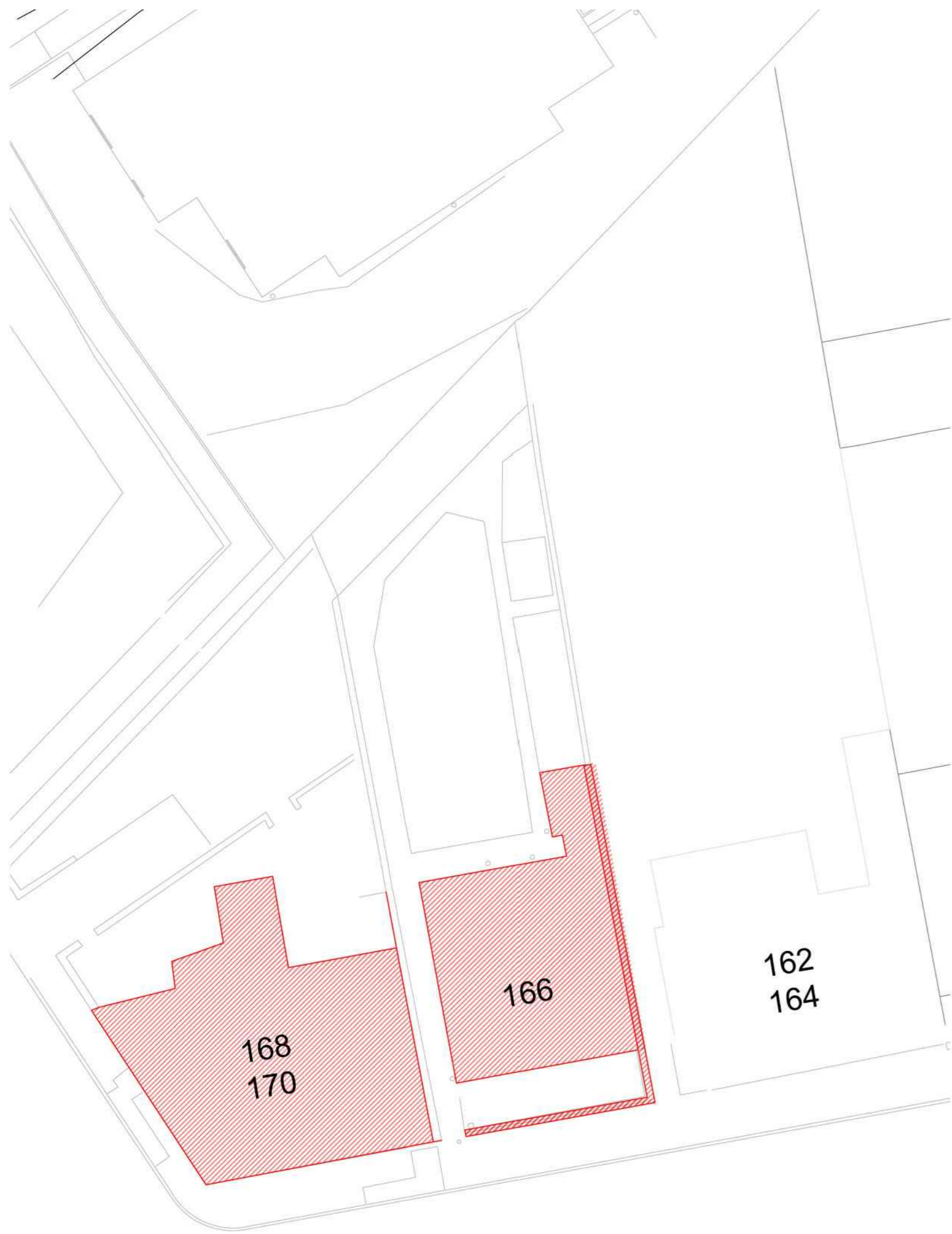
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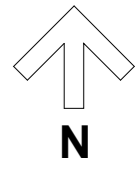
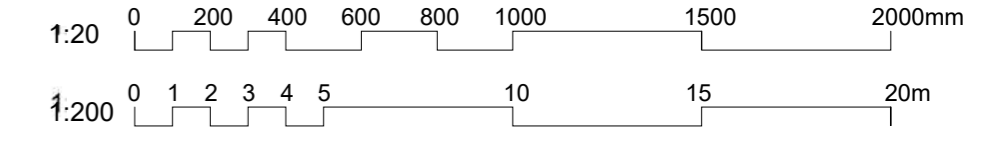
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Existing layout at 166 Hutcheon Street
Scale 1:200



Proposed new boundary treatment at 166 Hutcheon Street
Scale 1:200



- KEY**
- DOWNTAKING EXISTING BOUNDARY WALL
 - PROPOSED NEW BOUNDARY WALL
 - REINSTATED WALL

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Project:
BERRYDEN CORRIDOR IMPROVEMENT

Client:
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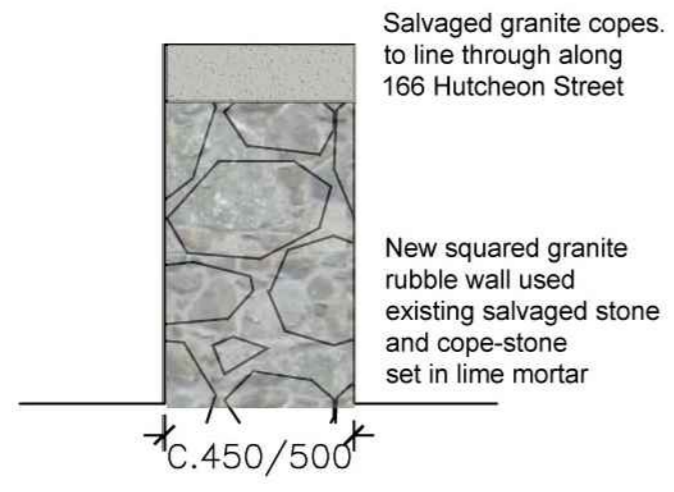
Title:
**166 HUTCHEON STREET
BOUNDARY WALL**

Document Reference

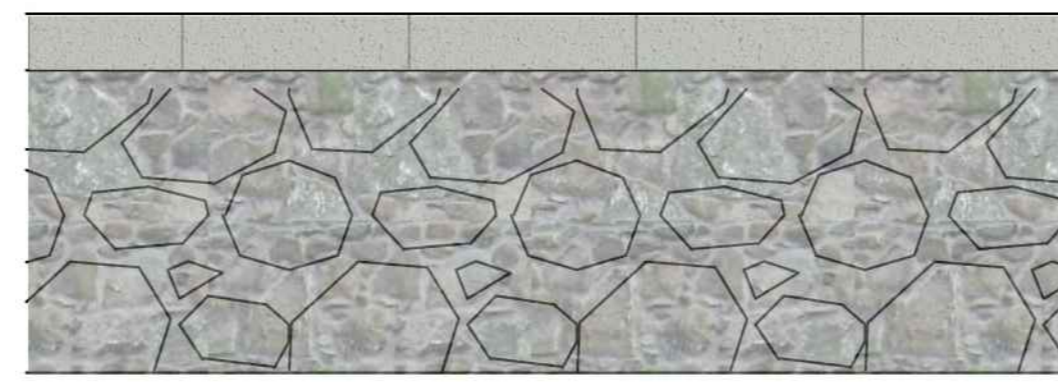
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Project Code	Originator Code	Volume	Location / Level	Type	Role	Classification	Number
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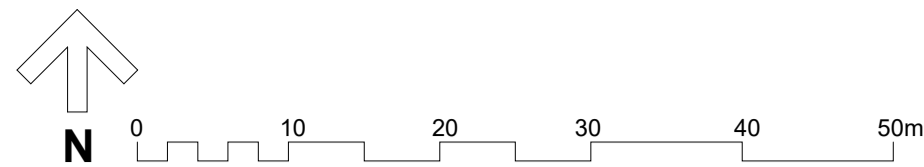
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



Foundation detail to engineer's specification (N.B level may vary to each side)
Typical section of boundary wall at 166 Hutcheon Street
Scale 1:20



New low boundary wall at 166 Hutcheon Street
Scale 1:20



- KEY**
-  DOWNTAKING EXISTING BOUNDARY WALL AND BUILDINGS
 -  PROPOSED NEW BOUNDARY WALL

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 CHARTERED ARCHITECTS & PLANNING CONSULTANTS

Project:
 BERRYDEN CORRIDOR IMPROVEMENT

Client:
 ABERDEEN CITY COUNCIL

Title:
 BERRYDEN ROAD
 BOUNDARY WALL - PROPOSED LAYOUT PLAN & DOWNTAKINGS

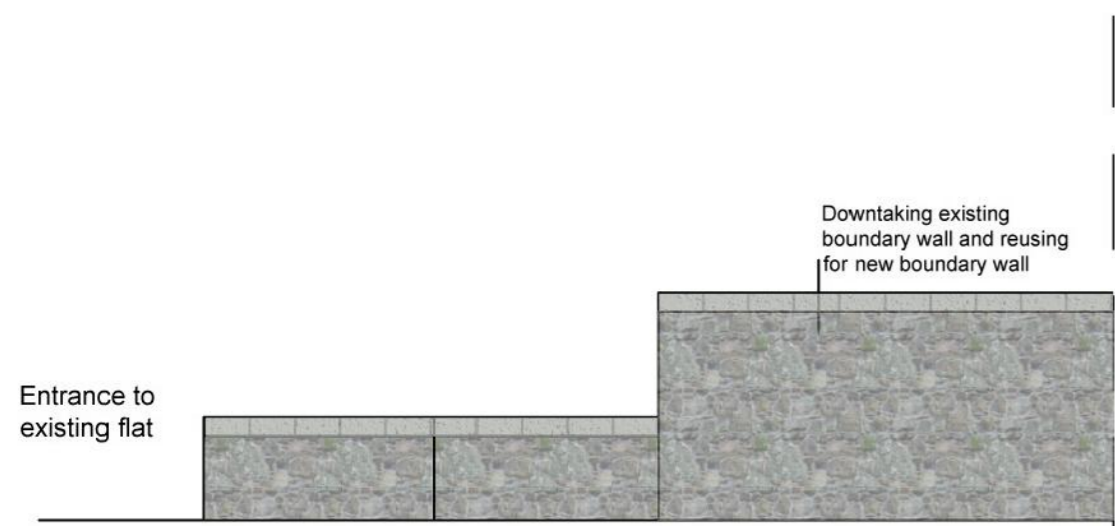
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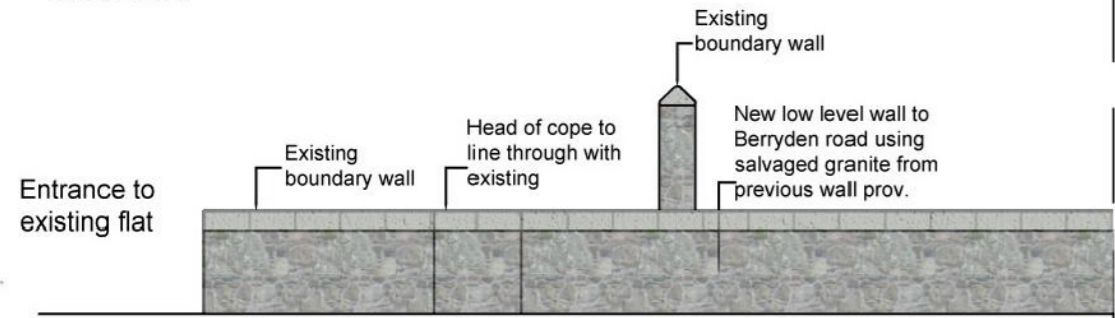
Drawing Status: COMMENT **Revision** B
Scale: 1:500 @ A1 **Date:** FEBRUARY 2020

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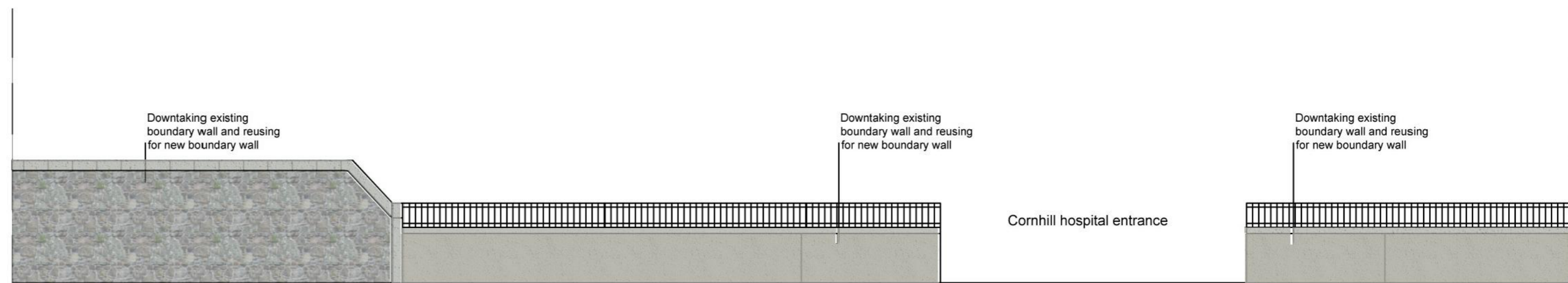
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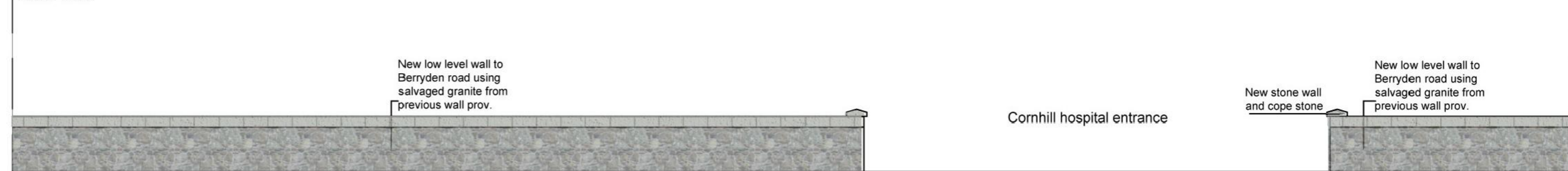
East Elevation (Elevation D1) - Existing boundary wall of Berryden Road
Scale 1:100



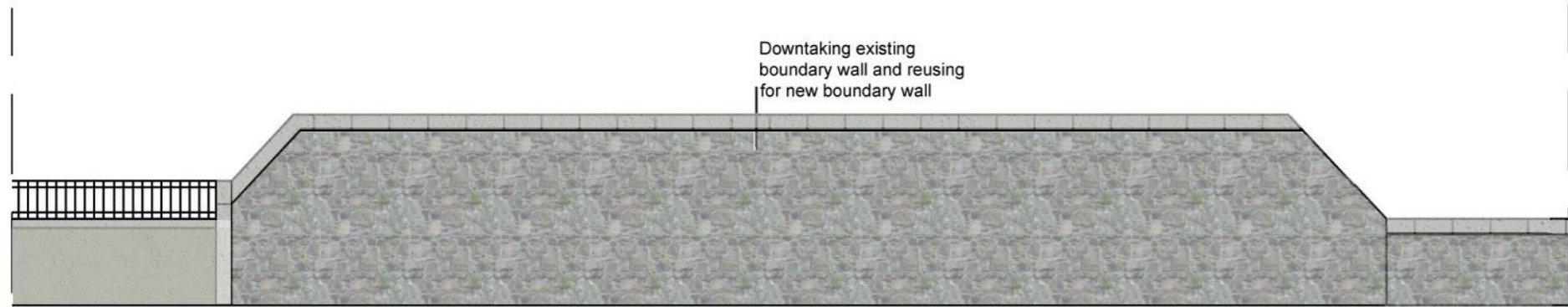
East Elevation (Elevation D1) - Proposed boundary wall of Berryden Road
Scale 1:100



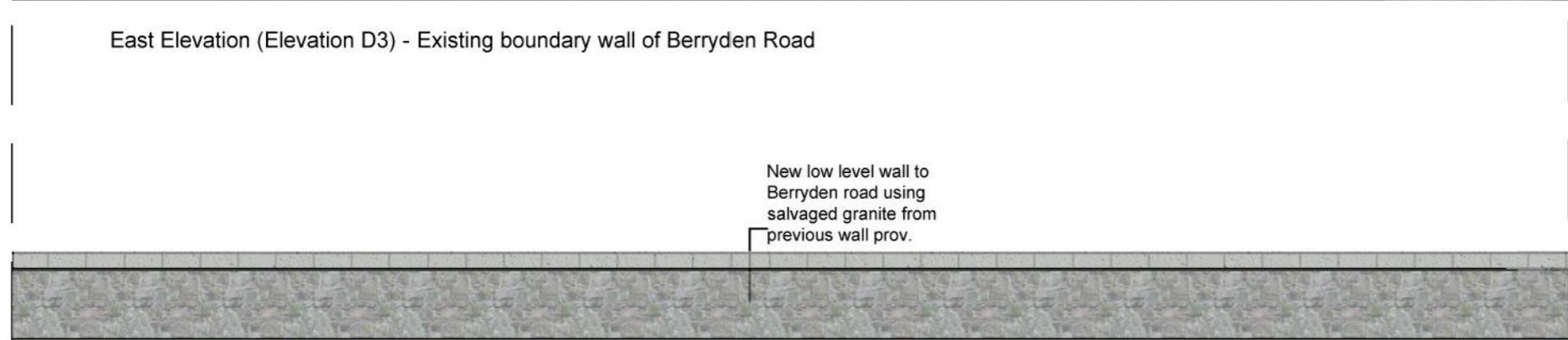
East Elevation (Elevation D2) - Existing boundary wall of Berryden Road
Scale 1:100



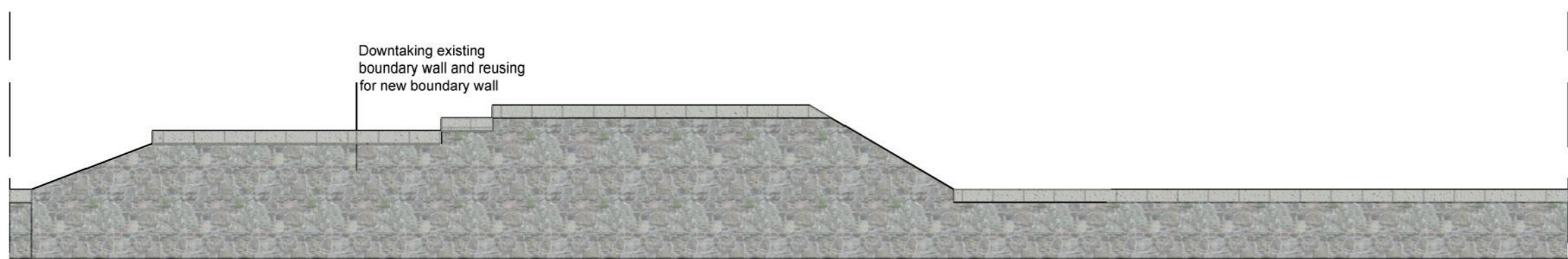
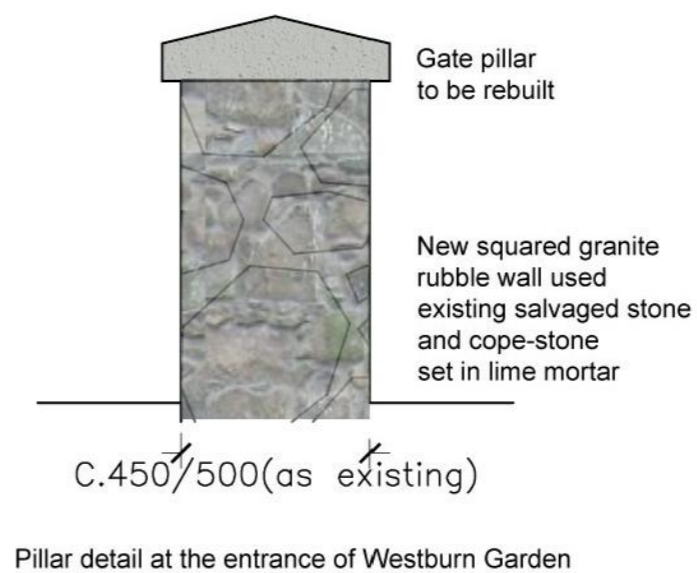
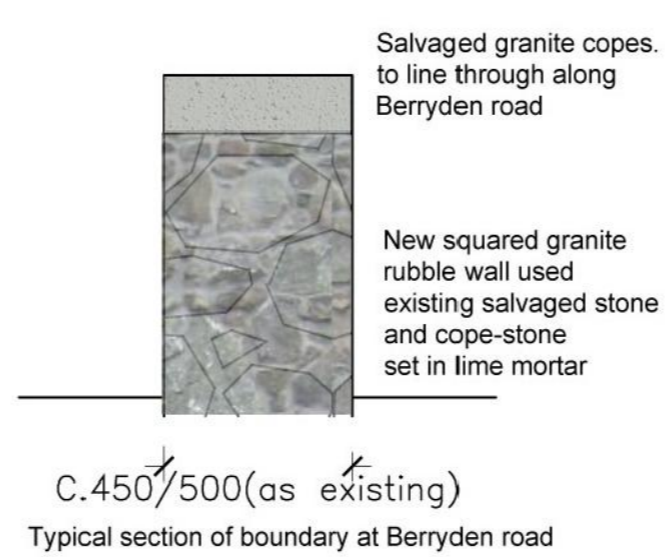
East Elevation (Elevation D2) - Proposed boundary wall of Berryden Road
Scale 1:100



East Elevation (Elevation D3) - Existing boundary wall of Berryden Road



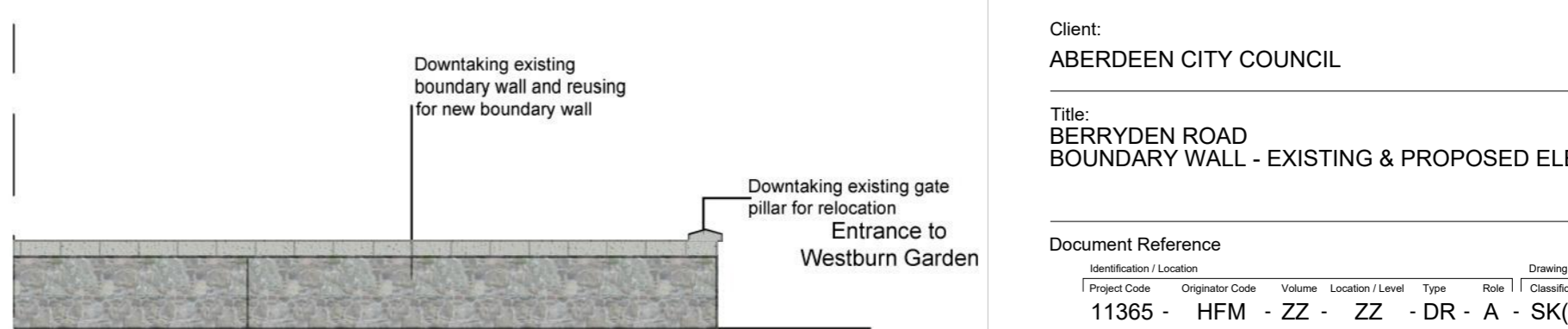
East Elevation (Elevation D3) - Proposed boundary wall of Berryden Road
Scale 1:100



East Elevation (Elevation D4) - Existing boundary wall of Berryden Road
Scale 1:100



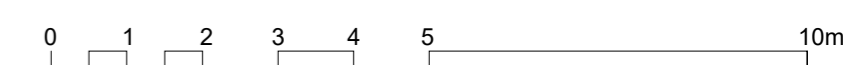
East Elevation (Elevation D4) - Proposed boundary wall of Berryden Road
Scale 1:100



East Elevation (Elevation D5) - Existing boundary wall of Berryden Road
Scale 1:100



East Elevation (Elevation D5) - Proposed boundary wall of Berryden Road
Scale 1:100



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 TREE REMOVAL PLAN TO BE PROVIDED BY OTHERS.
 SITE BOUNDARY LINES TO BE CONFIRMED BY ABERDEEN CITY COUNCIL



HALLIDAY FRASER MUNRO
 CHARTERED ARCHITECTS & PLANNING CONSULTANTS

Project:
 BERRYDEN CORRIDOR IMPROVEMENT

Client:
 ABERDEEN CITY COUNCIL

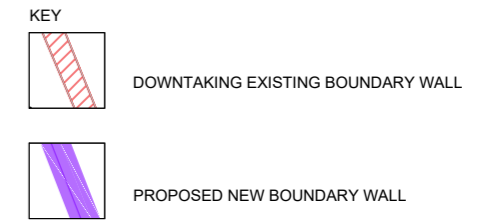
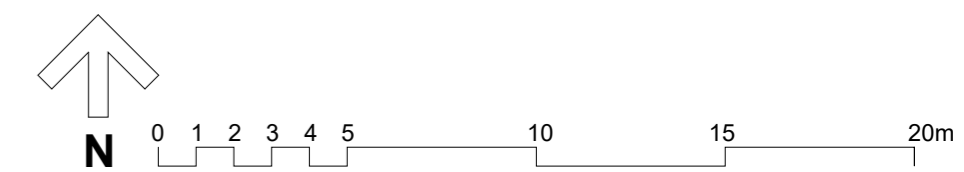
Title:
 BERRYDEN ROAD
 BOUNDARY WALL - EXISTING & PROPOSED ELEVATIONS

Identification / Location		Drawing Number	
Project Code	Originator Code	Volume	Location / Level
11365	HFM	- ZZ	- ZZ
		- DR	- A
		- SK(00)	016

Drawing Status: COMMENTS
 Scale: 1:100 @ A2
 Revision: B
 Date: FEBRUARY 2020

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Project:
 BERRYDEN CORRIDOR IMPROVEMENT

Client:
 ABERDEEN CITY COUNCIL

Title:
 THE FATHERS HOUSE (FORMER ROSEMOUNT PARISH CHURCH)
 WESTERN BOUNDARY WALL

Document Reference

Identification / Location		Drawing Number	
Project Code	Originator Code	Volume	Location / Level
11365	HFM	- ZZ	- ZZ
		Type	Role
		- DR	- A
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		- SK(00)	017

Drawing Status: COMMENT **Revision**
A

Scale: 1:200 @ A2 **Date:**
FEBRUARY 2020

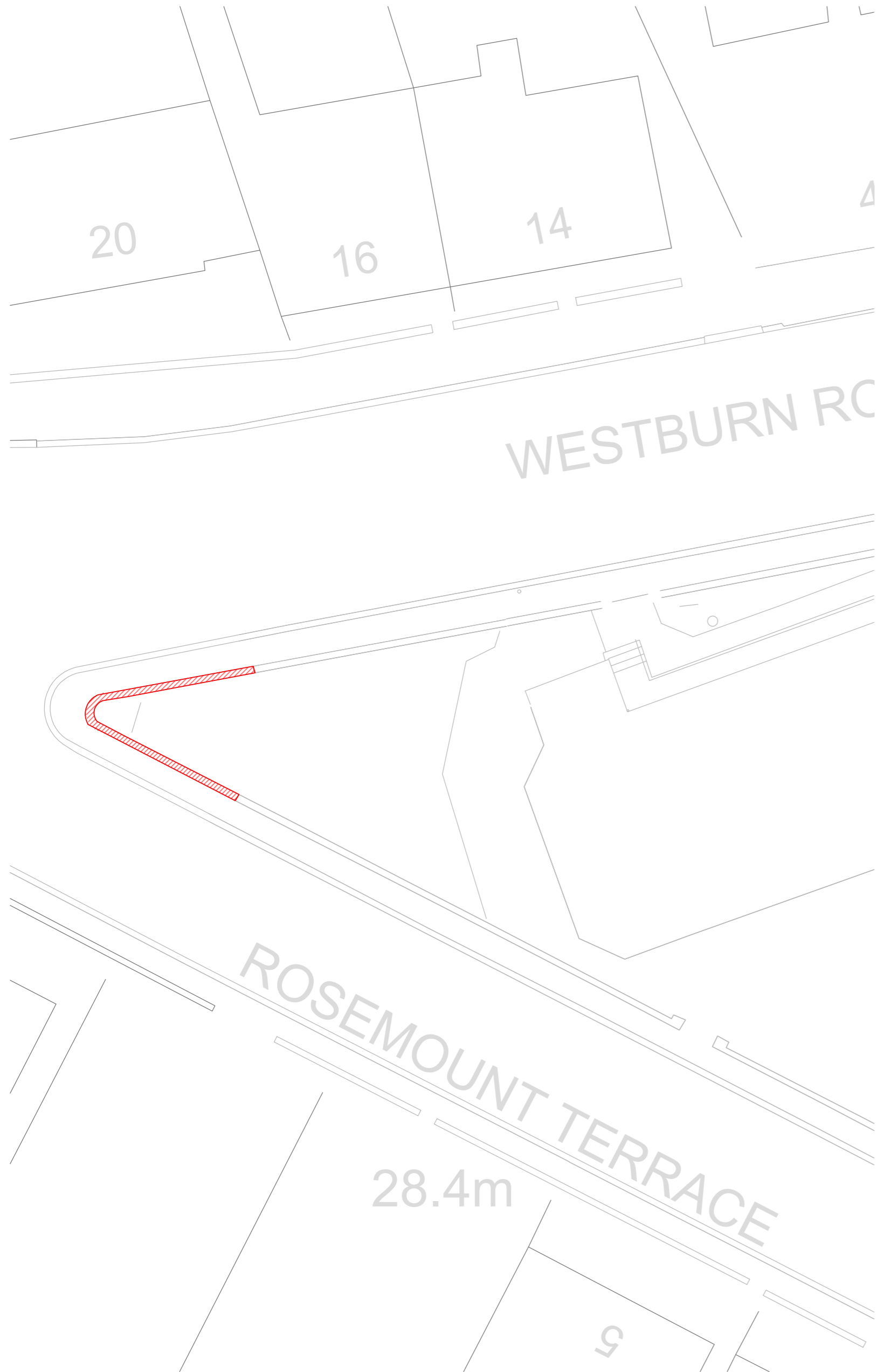
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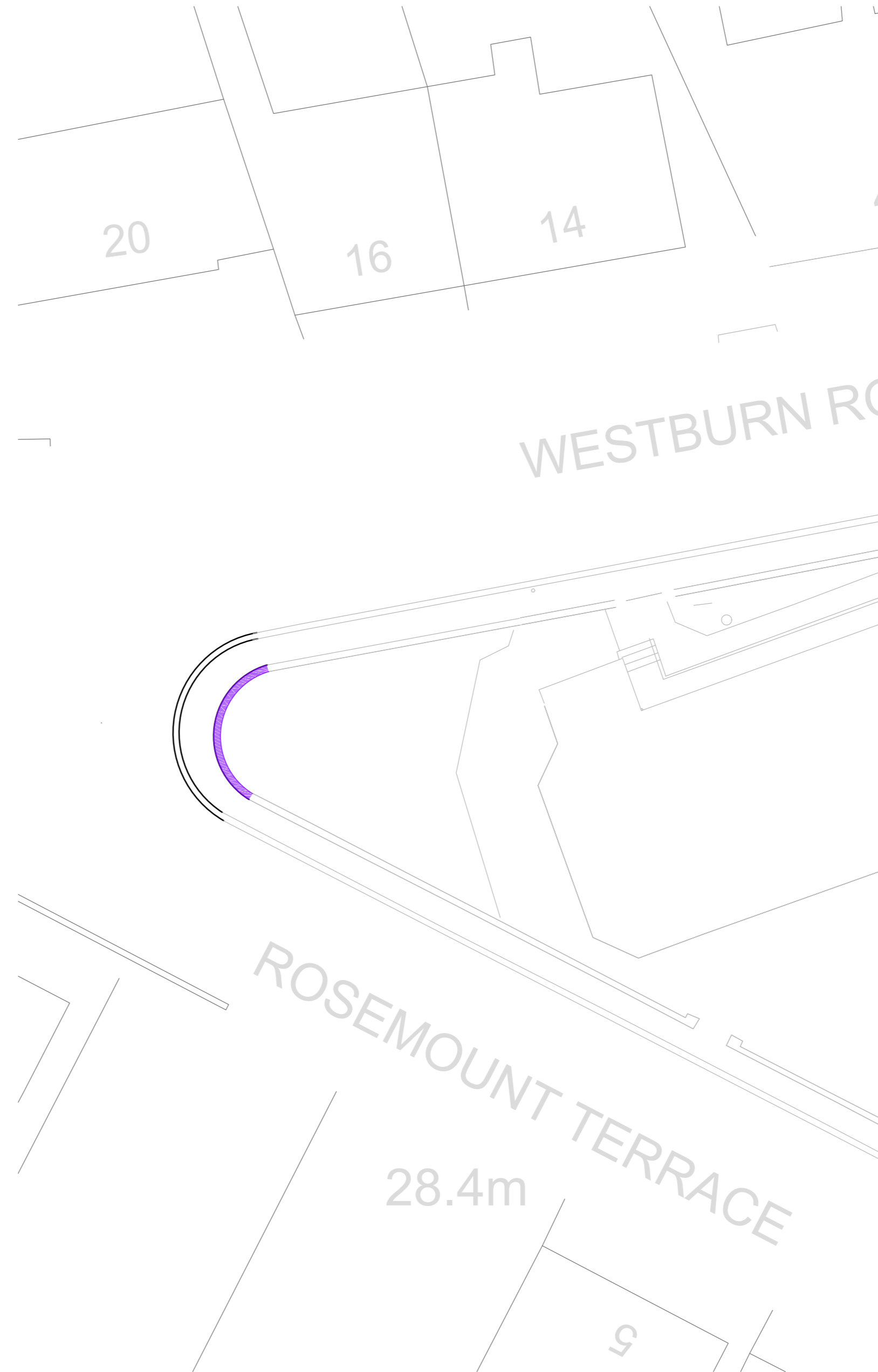
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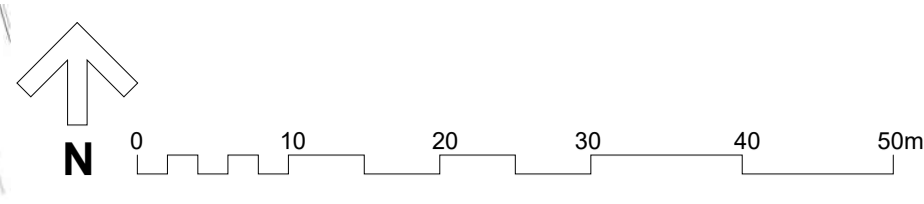
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Existing boundary at The Father House (former Rosemount Parish Church)
 Scale 1:200

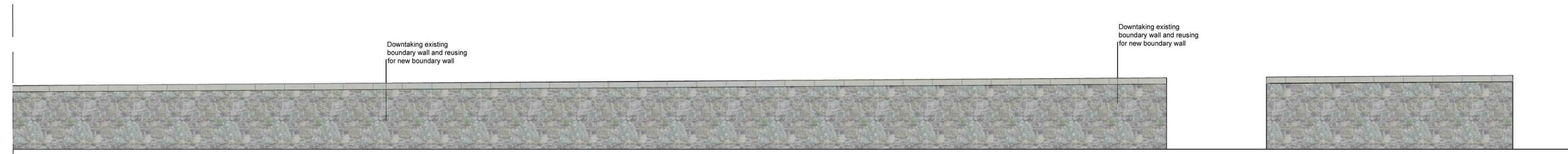
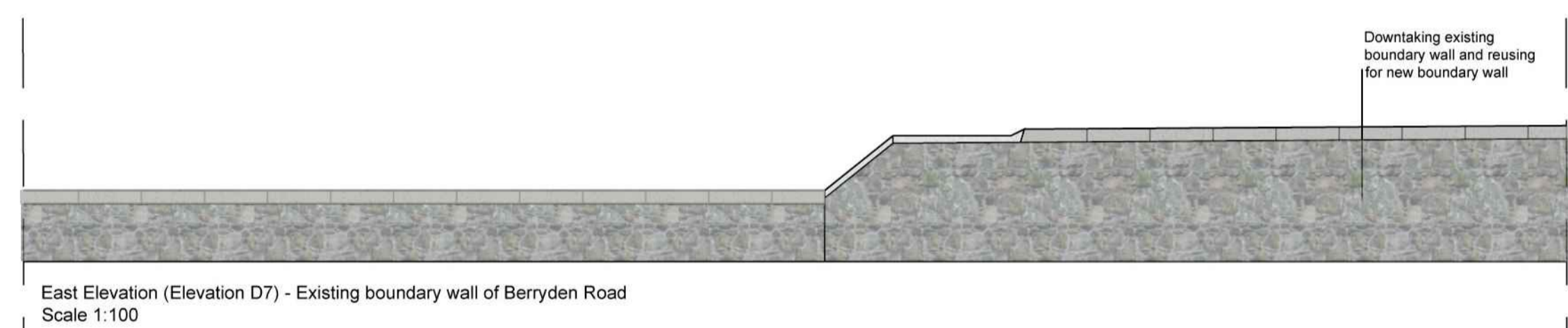
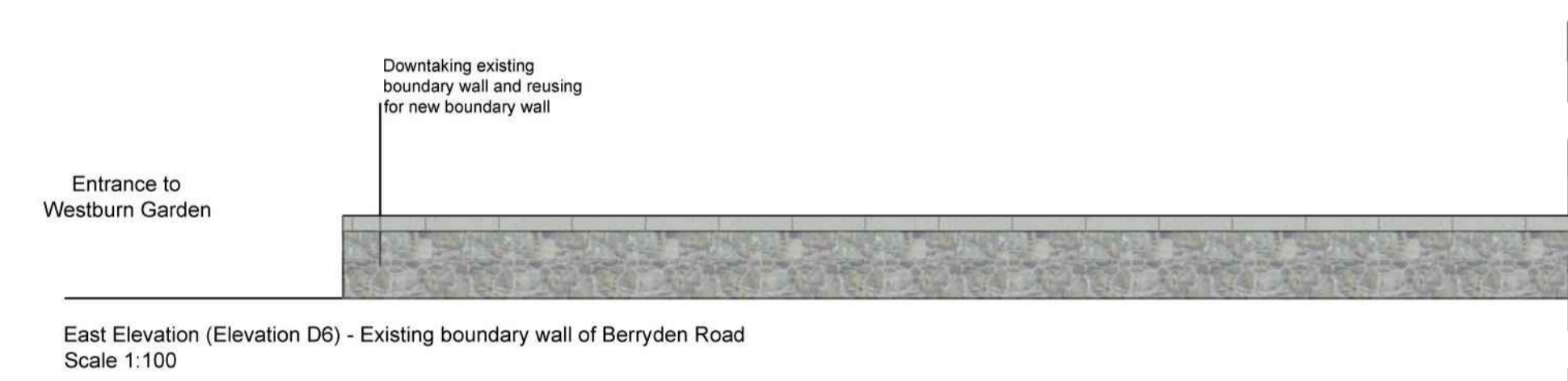


Proposed boundary at The Father House (former Rosemount Parish Church)
 Scale 1:200



- KEY**
- DOWNTAKING EXISTING BOUNDARY WALL AND BUILDINGS
 - PROPOSED NEW BOUNDARY WALL

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Project:
BERRYDEN CORRIDOR IMPROVEMENT

Client:
ABERDEEN CITY COUNCIL

Title:
**FRONTAGE OF WESTBURN GARDENS
 BOUNDARY WALL PROPOSED LAYOUT PLAN & DOWNTAKINGS**

Document Reference

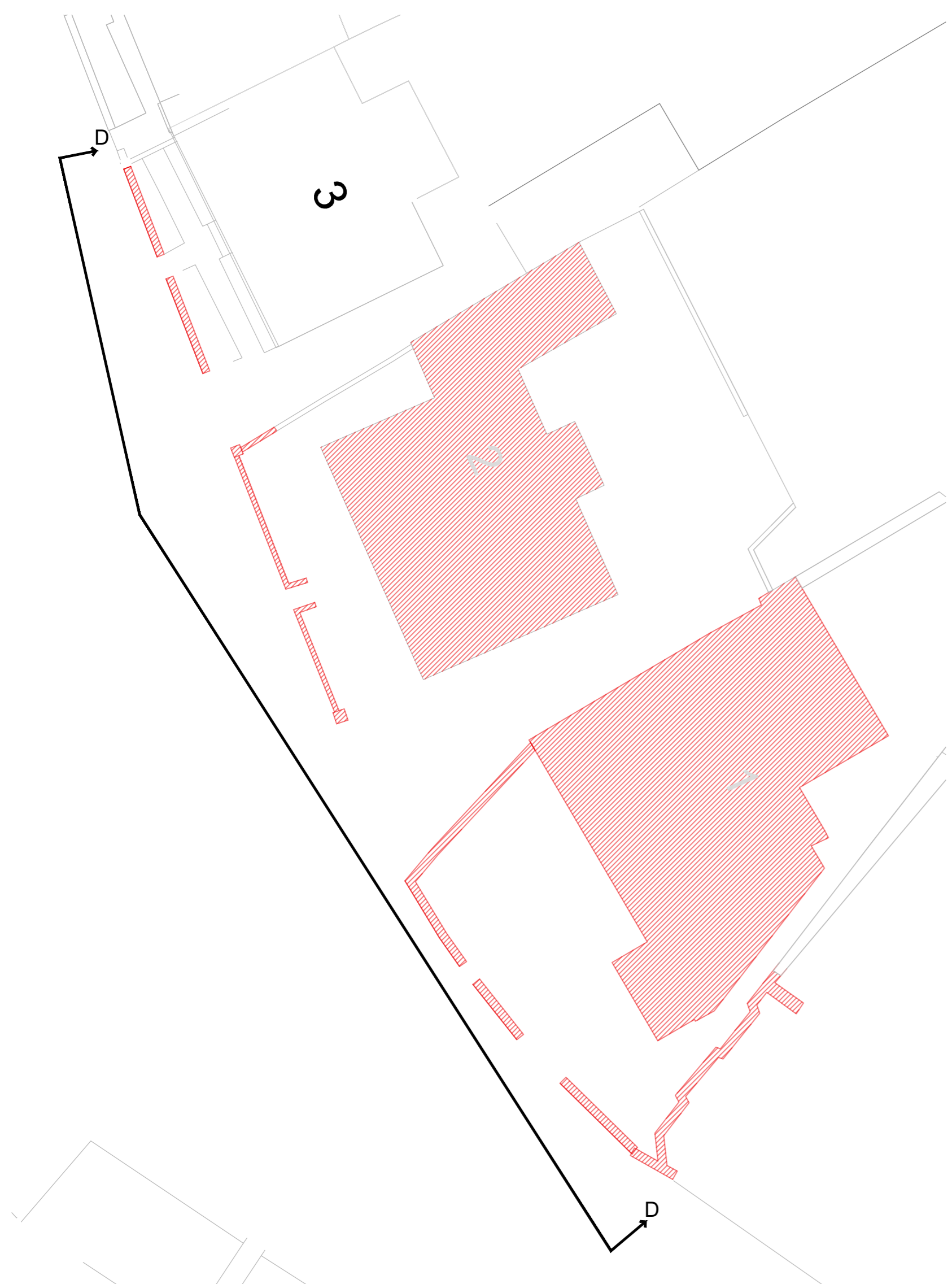
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Drawing Status:	Revision
COMMENT	-
Scale:	Date:
AS INDICATED @ A1	FEBRUARY 2020

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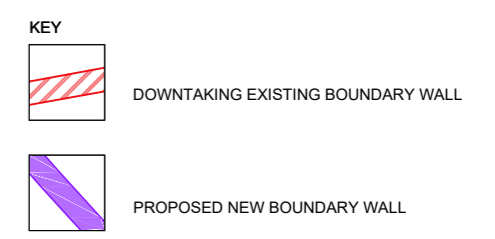
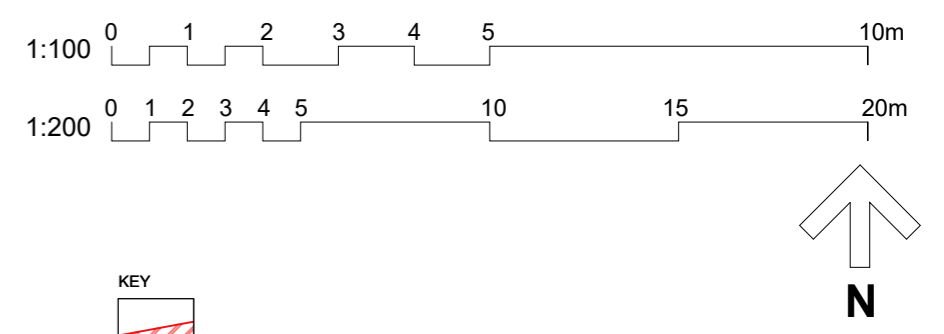
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Existing layout at 1, 2 & 3 Caroline Place
Scale 1:200



Proposed new boundary treatment at 1, 2 & 3 Caroline Place
Scale 1:200



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SITE BOUNDARY LINES TO BE CONFIRMED BY ABERDEEN CITY COUNCIL.



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Project:
BERRYDEN CORRIDOR IMPROVEMENT

Client:
ABERDEEN CITY COUNCIL

Title:
No. 1, 2 & 3 CAROLINE PLACE
PROPOSED BOUNDARY WALL & DOWNTAKINGS

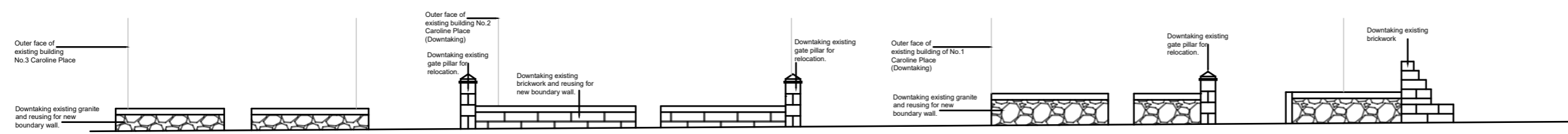
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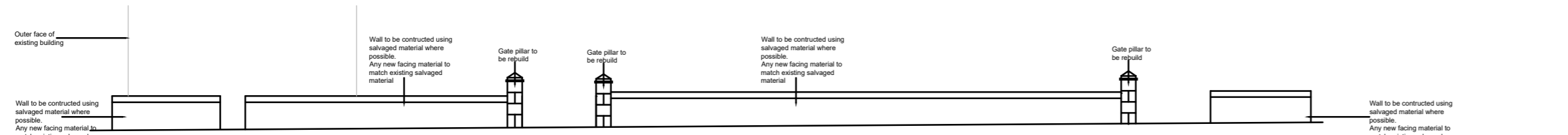
Drawing Status: COMMENT
Scale: AS INDICATED @ A2
Revision: -
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West Elevation (Elevation D-D) - Existing wall boundary and location of pier
Scale 1:100



West Elevation (Elevation D-D) - Proposed wall boundary and location of pier
Scale 1:100