

An aerial photograph of a rural landscape. In the foreground, there's a large, light-colored industrial building with a flat roof, surrounded by parking lots and smaller structures. A road runs alongside it. The middle ground is dominated by a dense forest of trees. To the left, a river flows through the landscape, bordered by green fields. In the background, a small village or town is visible, with numerous houses and buildings. The sky is overcast and grey.

# STONEYWOOD ESTATE

Development Framework and Masterplan

May 2011

Dandara Holdings Ltd

**open**  
optimised environments

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This document sets out a **Development Framework** and **Masterplan** for Stoneywood Estate. Its aim is to ensure that development of the Estate creates an **attractive, well connected** and **vibrant new community**.

The **landscape setting and existing features** of Stoneywood House and its environs, provide an excellent opportunity to create a diverse range of characters across the site which are connected by a clear set of relationships and hierarchy. Where appropriate the document sets out how these must relate, in terms of scale, massing, views, access and design.

The document illustrates how development of the site must repair and reinforce the **mature woodland** setting of the Estate through management and maintenance and respect the ecological importance of the **Don valley**.

The site offers huge potential to surrounding communities in terms of increased opportunities for **public access and recreation**, including core path provision and linkage to the National Cycle route. The document sets out this network and also how the site should address the **A947** in a considered and appropriate manner to facilitate these connections.

The document shows how **best practice** in planning and design can be applied in a **site specific** context to ensure sustainable benefits from such approaches as passive design, secure by design, residential streets and maximising connections between the wide ranging character areas within the site.

**The Stoneywood Development Framework and Masterplan was produced prior to the adoption of the Aberdeen Local Development Plan 2017, however its content remains valid and the document is still relevant in informing decision making. As part of the publication of the Local Development Plan 2017, an appraisal of the document has been undertaken and, as part of this process, policy references within the document have been reviewed and updated.**

**Any queries concerning the text of the document should be directed to Planning and Sustainable Development (03000 200292 or [pi@aberdeencity.gov.uk](mailto:pi@aberdeencity.gov.uk)) for clarification.**

# introduction



STONEWOOD HOUSE

## Stoneywood Estate

Stoneywood Estate is located to the north west of Aberdeen (see plan below). The site covers a total area of 34.96ha (86.38 acres) and was acquired by Dandara Holdings Ltd in 2010.

## Team

**Dandara Holdings Ltd** have assembled a multi-disciplinary team to produce this Masterplan for Stoneywood Estate. The team consists of the following;

Masterplanners: **OPEN (Optimised Environments Ltd.)**

Planning Consultants: **Knight Frank**

Transport Engineers: **Savell Bird and Axon**

Utility Consultants: **Troup Bywaters and Anders**

Drainage Consultants: **Quattro Consulting**

Environmental Consultants: **Ironside Farrar**

The team have worked closely together to provide a well considered and appropriate Masterplan response to the site, and have met with Aberdeen City Council at regular intervals through both the Local Development Plan process and development of the Masterplan to discuss proposals. This team has been consistently involved with the site for over two years having been engaged by Kilmartin Property Group (the previous owner) and have indepth knowledge of its characteristics, the surrounding community and stakeholders.

## Purpose of the document

This document sets out a Development Framework and Masterplan for Stoneywood Estate following Aberdeen City Council's 'The Aberdeen Masterplanning Process, A Guide for Developers'. The Development Framework sets out a basic two dimensional spatial framework for the way in which the site will be developed. The Masterplan section of the document then develops this into a more detailed three dimensional masterplan, describing and illustrating the proposed urban form with detailed guidance on buildings, external spaces and other design matters.

The aim of the document is to form the basis of Supplementary Guidance to the Aberdeen Local Development Plan.

The document describes a residential led mixed use development of between 350 and 500 residential units and around 2000sqm of supporting retail, service and community uses at Stoneywood Estate.



SITE LOCATION IN CITY CONTEXT

Not to scale  North

# document structure

**1 THE MASTERPLAN PROCESS** The Planning Process  
The Consultation Process

**2 SITE ANALYSIS**

**3 THE DEVELOPMENT FRAMEWORK** Concept  
Woodland Structure  
Development Blocks  
Access and Connectivity  
Core Roads  
Landscape Strategy  
Drainage Strategy

**4 THE MASTERPLAN** Core Public Spaces  
Development Blocks

**5 SUMMARY OF SUSTAINABLE DESIGN**

**6 PHASING STRATEGY**

**7 INFRASTRUCTURE DELIVERY STATEMENT**

**+ TECHNICAL INFORMATION**

This document has been prepared with input from the following processes and reports;

- Planning Statement
- Environmental Statement
- Sustainability Statement
- Consultation Report
- Tree Survey
- Woodland Management Plan
- Transport and Accessibility Assessment
- Drainage Impact Assessment
- Utilities Report

The documents listed above are being prepared to support the application for Planning Permission in Principle and will be submitted at that time.

# 1

## the masterplan process



# 1.1 The Planning Process

## 1.1.1 Planning Context

### Aberdeen Local Plan

The principle of development on the Stoneywood Estate was established in the 2008 Aberdeen Local Plan. This allocated the majority of the land to the south of Stoneywood Terrace as a Specialist Employment Area (SE69) and as Opportunity Site (OP95) for a 20ha Technology Park. The concept of residential development at Stoneywood, is also not new, with the 1991 Aberdeen City District Local Plan allocating land for housing on both sides of Stoneywood Terrace. More recently planning permission has been granted for the development of 30 houses on land immediately north of Stoneywood Terrace and for 5 houses beside Waterton House, Stoneywood.

### The Stoneywood Planning Brief

This was approved as supplementary planning guidance for the Aberdeen Local Plan (2008). The brief covers the majority of the Stoneywood Estate land and supports the use of the land to the south of Stoneywood Terrace as a technology park and the potential future use of Stoneywood House as a hotel or leisure facility.

### Aberdeen City and Shire Strategic Development Plan

The Aberdeen City and Shire Strategic Development Plan (SDP) was approved by Scottish Ministers in March 2014. The Strategic Development Plan allocates 31,500 houses to Aberdeen City for the period up to 2035, with 21,000 of these houses proposed for greenfield sites. The SDP also allocates 105 hectares of new employment land in the City up to 2026. In seeking to deliver a high growth strategy for the City and Shire, the SDP promotes the development of sustainable mixed communities.

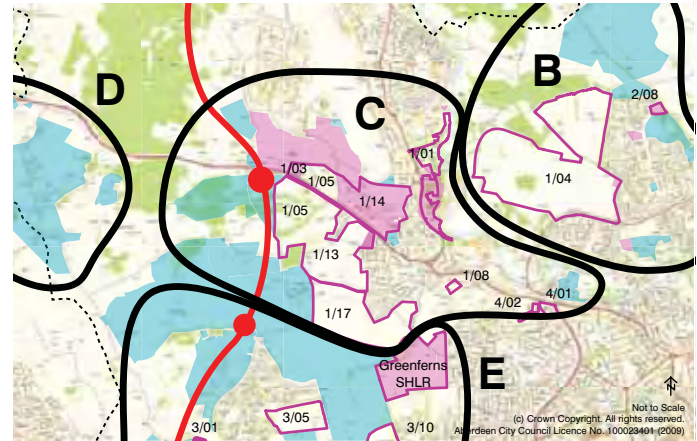
Aberdeen is identified as a Strategic Growth Area in the Strategic Development Plan. Development at Stoneywood can help bring forward land for development and meet the sustainability objectives for the Strategic Development Plan.

### Aberdeen Local Development Plan

Land at Stoneywood is identified in the Aberdeen Local Development Plan as OP17 for the provision of 500 homes in the period up to 2026. The plan lists the infrastructure required to support the development. This includes a contribution towards education, a new Health Centre (10 GP and 2 dental chairs), a new Community Pharmacy and new road connections and junctions between the site and the A947. The delivery of these requirements is considered later in the Masterplan and the issue of education capacity within the Bucksburn and Stoneywood Area has been considered as part of an education study commissioned by Aberdeen City Council.

Area C Dyce and Bucksburn - Preferred Option

	Sites	Units/ Size
Housing 2007 – 2016	1/01 Stoneywood 1/05 Craibstone 1/13 Rowett South 1/17 Greenferns Landward 1/08 Land near Bucksburn School	500 homes 750 homes 1000 homes 750 homes 80 homes
Housing 2017 – 2023	1/05 Craibstone 1/13 Rowett South 1/17 Greenferns Landward	250 homes 700 homes 250 homes
Housing 2024 – 2030	1/13 Rowett South	240 homes
Employment Land 2007 - 2023	1/03 Walton Farm	1.5 ha
Strategic Reserve Employment Land 2024 - 30	1/05 Craibstone North 1/14 Rowett North	18.5 ha 34.5 ha



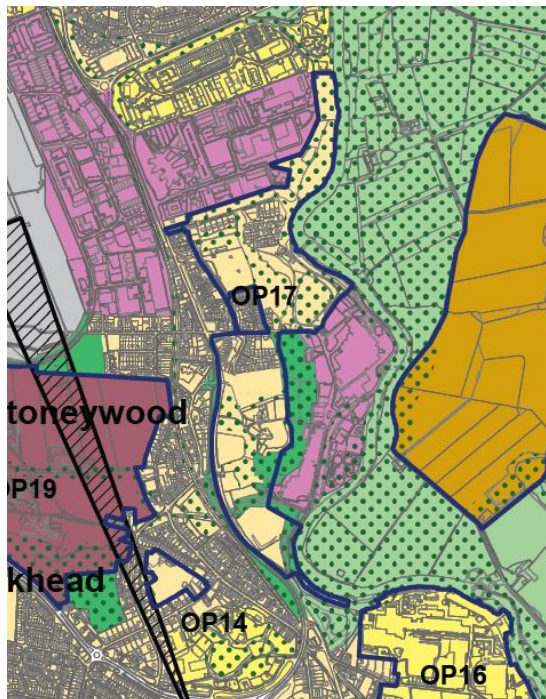
- Legend**
- City Boundary
  - Proposed Route of AWPR
  - Proposed Junctions along AWPR
  - Preferred Options sites
  - Sites allocated in the Local Plan
  - Development Options assessed as undesirable

EXTRACT FROM ABERDEEN CITY COUNCIL MAIN ISSUES REPORT - 2009

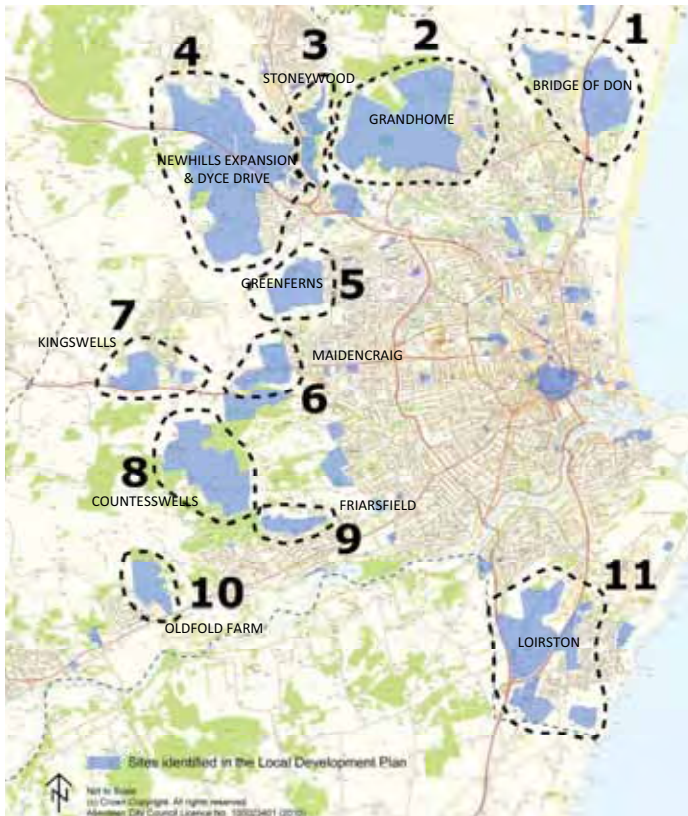
## 1.1.2 Working with Aberdeen City Council

Throughout the production of this Development Framework and Masterplan, Dandara have been in frequent dialogue with Aberdeen City Council to ensure robust and suitable proposals which help meet the development targets of the city.

This engagement is a continuation of the approach taken by Kilmartin Property Group (the previous owner of the Stoneywood Estate) which entered into early dialogue with Aberdeen City Council back in 2008 on the opportunities provided by the land at Stoneywood for accommodating the structure plan housing targets and promoting a masterplanned, residential led development at Stoneywood Estate. The masterplan approach, which has sought to involve the local community throughout the process, found favour with Council officers and resulted in Stoneywood Estate being identified as a preferred site for development in the Local Development Plan Main Issues Report for 500 houses for the time period 2007-2016.



EXTRACT FROM ABERDEEN LOCAL DEVELOPMENT PLAN PROPOSALS MAP



EXTRACT FROM ABERDEEN CITY COUNCIL - ALDP 2012 MASTERPLAN ZONES

Consultation on the options for development in the Main Issues Report was concluded at the end of 2009 and following consideration of the supportive and constructive responses received for a new community at Stoneywood the Council confirmed in August 2010 the allocation of 500 houses at Stoneywood in the proposed Local Development Plan for the time period 2007-2016.

The subsequent identification of the Stoneywood Estate for a residential development of 500 homes in the 2012 Local Development Plan (Site OP24) is a very positive step and gave Dandara great encouragement in their objective to create a major new sustainable community in Aberdeen. Stoneywood will provide a very attractive living environment which is well integrated with the existing urban area and is capable of accommodating a significant amount of development without harming the landscape setting of the area.

### 1.1.3 Planning Strategy and the Masterplan Process – Approach to Design

The Stoneywood Estate was identified in the 2012 Aberdeen Local Development Plan as a site that requires the preparation of a Masterplan. Dandara believe that through the masterplanning process they can arrive at a proposal for Stoneywood Estate that will meet the aims of the Council and the local community and provide an exemplar Masterplan project for the city. With this aim in mind Dandara consider the proposals coming forward will remain true to the original concept for Stoneywood, recognising that is a unique opportunity for sustainable development. Dandara are enthusiastic about the future of the Stoneywood Estate and wish to use the development of the site to showcase the quality of their product and commitment to a continuing presence in the North East of Scotland.

The Masterplan for Stoneywood is being prepared in accordance with the Council's most recent Masterplanning guidance and will help determine the layout and location of different land uses on site and set the parameters for development across the whole Stoneywood Estate. The site, whilst predominantly residential will include a mix of supporting and ancillary uses, integrated with housing. It is important, however, that the Masterplan layout allows for some flexibility with regard to the mix of uses proposed for the site and is adaptable to changes in future economic circumstance. To ensure the potential of the site is maximised, Dandara have engaged a multi-disciplinary team to ingrain design quality from the very outset of the project. Rather than being planned as a series of sites, the masterplanning approach being taken will help realise the wider opportunities to create efficient and effective environmental and community connections that integrate the site both internally and with its surroundings. Dandara believe the Stoneywood site has the capability to deliver a successful residential led mixed-use scheme that will have positive social and economic impacts outside its property boundaries.

### 1.1.4 Application for Planning Permission in Principle

All planning applications for national or major development must comply with the Pre-application Consultation (PAC) process as set down in the Town and Country Planning (Development Management Procedure) (Scotland) Regulations, which came into effect in April 2009. To comply with this new procedure, applicants are required to submit a Proposal of Application Notice at least 12 weeks prior to the submission of a planning application. Aberdeen City Council's updated Masterplanning guidance seeks to avoid duplication and confusion for public consultation exercises and recommends, that as there is no upper limit for submission of a planning application following the commencement of the PAC process, the two processes are combined in terms of public engagement.

Dandara agree with this approach and submitted a Proposal of Application for a residential development that will deliver between 350 and 500 residential units and be supported by around 2,000sqm of non-residential uses contained within a neighbourhood centre and other potential locations on site. The Proposal of Application Notice (Reference P101771) was registered by Aberdeen City Council on 2 November 2010 and confirmation was received from the Council that the pre-application consultation that was proposed to be undertaken was satisfactory and met the statutory requirements. The public consultation arrangements for the Stoneywood Masterplan and a future planning application for Stoneywood were therefore run in parallel.

Subject to approval of the Stoneywood Masterplan as interim planning advice by Aberdeen City Council and completion of the supporting studies (Environmental Impact Assessment, Transport Assessment, etc. currently being prepared to be submitted with an application for Planning Permission in Principle) it is proposed that an application for Planning Permission in Principle for the site will be submitted by Dandara in June 2011. The application will comply with the guidance set down in the Final Masterplan and will be supported by a report on all pre-application public consultation undertaken in connection with development of the site. The provision of necessary infrastructure to support development of the site will be dealt with by way of planning conditions and a Section 75 Legal Agreement.

### 1.1.5 Future Applications

Subject to the granting of Planning Permission in Principle for development at Stoneywood, Dandara will start to bring forward individual detailed planning applications (for approval of matters specified in conditions) for parts of the site identified as the first phases of the development. It is anticipated that development of the site will be completed over a 5-7 year period. Set against the background of an approved structure plan with high growth targets, a reducing effective housing land supply and a local development plan which is now a material planning consideration, there will be a need and an opportunity for the Council to grant approvals in advance of final adoption of the local development plan. In this respect Stoneywood is not a contentious site with only 6 representations submitted in respect of the proposed allocation of the site in the Local Development Plan and none objecting to the allocation.



## 1.2 The Consultation Process

### 1.2.1 A Collaborative approach

The Masterplan process has been committed to involving local people and stakeholders at all stages in the design and development process at Stoneywood Estate. The design team believes the Masterplan will benefit greatly from meaningful consultation and involvement with the local community and stakeholders. Consultation has been carried out following the best practice guidelines as set out in Planning Advice Note 81 (now superseded by PAN 3/2010) Community Engagement and Aberdeen City Council's Guidelines for Community Engagement.

For the purposes of the Masterplan, the consultation process to date has been described, including work carried out by the design team with the previous site owner, Kilmartin Property Group, as this engagement has been important in shaping the proposals to date.

The community consultation and engagement approach adopted for Stoneywood Estate has been specifically designed to:

- Ensure awareness of Stoneywood Estate and the Masterplan aspirations, creating 'knowledgeable communities' which can then contribute purposefully at all stages of the development process.
- Ensure events are well publicised and easy to get to.
- Ensure engaging and inspiring consultation materials which present information clearly and in an accessible format.
- Ensure that members of the design team are available at consultation events to answer questions and engage in dialogue.
- Provide opportunities to comment and become involved.
- Keep people informed of progress.
- Give confidence and assurance that comments are being heard and issues dealt with.



PHOTOGRAPHS FROM STONEYWOOD ESTATE COMMUNITY EXHIBITION, JUNE 2009

## 1.2.2 Consultation to Date

### Workshops with Aberdeen City Council

Through the initial site analysis and concept development the client and design team have worked closely with Aberdeen City Council. A number of meetings and design workshops have helped inform the proposals, these were designed to:

- Help ensure the aspirations for the site are compatible and complimentary with Aberdeen City Council's plans for the City.
- Discuss thoughts and keep Aberdeen City Council up to date with the evolving principles and aspirations for the site.
- Ensure the proposals fit within Aberdeen City Council's Development Plan Process and Masterplan Process.
- Explore opportunities of promoting exemplary design and sustainability, including the formation of a submission to the Scottish Sustainable Communities Initiative (SSCI).

### Meeting the Community Councils

Dandara met with Dyce and Stoneywood Community Council on the 25th August 2010 and Bucksburn and Newhills Community Council on the 24th June 2010, to formally introduce the client team and to give an introduction to Dandara's aspirations for Stoneywood Estate. The Community Councils were reassured that the emerging proposals for Stoneywood Estate were generally following the principles that had been detailed at previous consultation events. Feedback to the meeting was positive and the Community Councils asked to be kept informed as proposals progressed.

### Aberdeen City Council Development Options Open Evening

Prior to Dandara acquiring Stoneywood Estate, the previous site owner Kilmartin Property Group displayed evolving proposals at the Aberdeen City Council Development Options Open Evening. A presentation board, workbooks, initial reports and surveys were made available for visitors to view, giving background to the Estate and design process. The event was attended by both Kilmartin employees and members of the design team who were available throughout the evening to answer questions and listen to comments.

### Stoneywood Estate Community Exhibition, June 2009

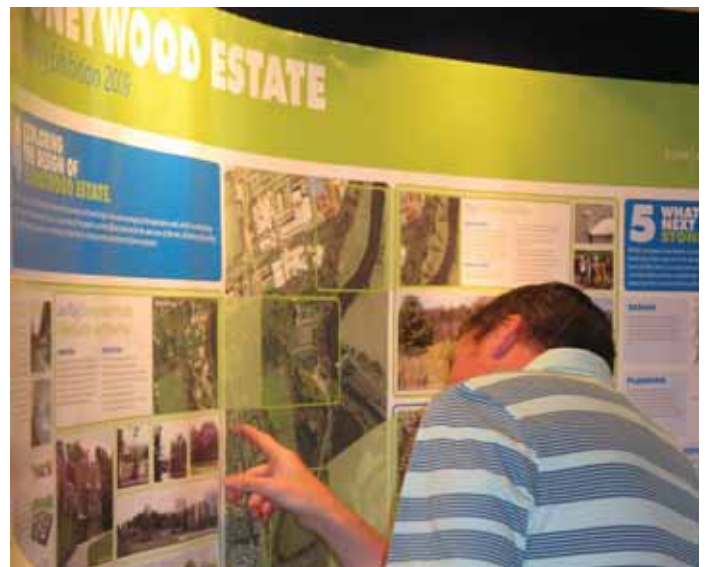
Following advice received at meetings with the Community Councils, Kilmartin Property Group organised a Community Exhibition held on the 18th June 2009, displaying the work undertaken to date and illustrating initial concepts and emerging ideas. The format of the event was an open day at Stoneywood House, chosen as the preferred venue because of its location within the site and the attraction of the unique setting.

Comments forms and handouts which summarised the information at the exhibition were handed out and all who attended were encouraged to sign a visitor book. Throughout the day Kilmartin employees and members of the masterplan team were on hand to answer questions and listen to the comments, thoughts and ideas of the community.

Over ninety percent of the comments forms received from the Community Exhibition supported a principle of development at Stoneywood Estate. The comments received clearly highlighted the key issues and concerns of the local community. As the Masterplan Process has progressed, the comments and feedback provided have been used to help develop the Masterplan.



PHOTOGRAPH FROM ABERDEEN CITY COUNCIL DEVELOPMENT OPTIONS OPEN EVENING



PHOTOGRAPHS FROM STONEYWOOD ESTATE COMMUNITY EXHIBITION, JUNE 2009

### 1.2.3 Pre-Application Consultation

Dandara Limited are committed to continuing the engagement process with the local community as part of the ongoing development of the Stoneywood Masterplan and submission of an application for Planning Permission in Principle for the site. The public consultation for both the Stoneywood Masterplan and application for Planning Permission in Principle have been run in tandem to avoid duplication in the consultation process as set down as good practice in the Council's Masterplanning Supplementary Guidance.

A Proposal of Application Notice was sent to Aberdeen City Council in October 2010 outlining the proposed pre-application consultation for Stoneywood Estate. After consideration of the Proposal of Application Notice which was received by the Council in November 2010, it was the opinion of the planning authority that the proposed consultation described in the notice was satisfactory and should therefore be undertaken to comply with Section 35B of the The Town and Country Planning (Scotland) Act 1997 (as amended).

The Pre-Application Consultation Report sets down what has been done during the pre-application phase to comply with the statutory requirements for Pre-Application Consultation (PAC) for Dandara's application for Planning Permission in Principle at Stoneywood Estate.

#### Meeting the Community Councils

Introductory presentations were given by Dandara and Knight Frank to both Bucksburn and Newhills Community Council and Dyce and Stoneywood Community Council in June 2010 and August 2010 respectively. The presentation focussed on introducing Dandara as the new site owners and the Masterplanning process moving towards an application for Planning Permission in Principle.

#### Stoneywood Estate Community Exhibition, November 2010

A public event to present the evolving proposals for Stoneywood Estate was held on Thursday 25 November 2010 at Stoneywood House, Stoneywood Estate. This is an accessible venue within the grounds of Stoneywood Estate and was used successfully for the previous consultation event held there in June 2009. The event ran from 10 am until 8 pm and included a public exhibition of Dandara's draft Masterplan and development proposals for Stoneywood Estate.

The event was publicised through direct invitations to community members and interest groups, adverts in the Evening Express and Aberdeen Citizen, posters and an appropriate press briefing.

Plan and exhibition boards highlighting the proposals and a leaflet with key information on the scheme content and proposed programme for delivery was made available for people attending the event. Representatives from Dandara, Knight Frank and Optimised Environments Limited were in attendance to explain and provide information on the proposals.

Feedback forms were made available and attendees were encouraged to complete the forms on the day or complete later and post or email responses within a specified timescale.



PHOTOGRAPHS FROM STONEYWOOD ESTATE COMMUNITY EXHIBITION, NOVEMBER 2010



PHOTOGRAPHS FROM STONEYWOOD ESTATE COMMUNITY EXHIBITION, NOVEMBER 2010

## Feedback from Consultation Event

The register taken at the consultation event indicated that around 70 people attended the event, many of whom were local to the area. Twenty eight completed comments forms (see Consultation Report) were returned at or after the event and some comments were also received by email.

The comments received focused on the following issues:

### Traffic and Infrastructure

- Concern was expressed regarding extra traffic on Market Street that would be generated by the relocation of the Polo Park football pitch.
- A desire was expressed to provide a rail halt at Stoneywood and a new pedestrian bridge across the railway line.
- There is a need to improve the transport infrastructure in the area. This could include a new roundabout to the north of Dyce.
- Concern was expressed about the increase in volume of traffic that would be generated by the development.
- The northern entrance to Stoneywood the Estate should remain a no through route.

### Environment

- Concern was expressed about disturbance to the Water Table at Area S1A.
- The development proposals need to respect and encourage wildlife within the Stoneywood Estate.
- Concern expressed regarding drainage at Polo Gardens.
- Pleased that the area at the north end of the site will be retained as open space and a footpath link provided.
- The issue of the relationship between the existing Paper Mill and proposed new housing needs to be carefully managed to ensure that the future operation of the mill is not curtailed and new residents are not adversely affect by noise.

### Community/Recreational Facilities

- Support for proposed community facility and retention of the woodland.
- Concern about loss of football pitch.

### Miscellaneous

- The community needs more consultation.
- Concern regarding the loss of privacy for existing residents in Polo Gardens.
- Stoneywood House should be used as a Hotel and Conference Centre rather than converted to flats.

The comments form also asked in the form of a multiple choice question whether people supported Dandara's aspirations for the development of Stoneywood Estate. Of the 24 people who responded to this question, 9 strongly supported the development, 7 supported, 6 were neutral, 1 opposed and 1 strongly opposed. This support for the development and approach being taken was also reflected in people's written comments. Though not a planning consideration several people expressed an interest in buying a house within the new Stoneywood development.

## Masterplan Response to Comments

The pre-application consultation on the emerging Stoneywood Estate proposals generated a mainly constructive and supportive response. Dandara and their Design Team have sought in the preparation of the Stoneywood Masterplan and planning application submission for the site to take account of where appropriate and practicable the comments that were received.

The comments received have been used to inform the finalised Stoneywood Masterplan. The Pre-Application Consultation Report provides a full analysis on how the Masterplan has responded to the comments received, with a summary of the key issues below.

Dandara's response to the comments received are dealt with under the following headings:

### Traffic and Infrastructure

The access strategy for the site has been designed in such a way to ensure there is no net detriment to traffic flows on the road network. Development that results in an increase in traffic congestion is a legitimate concern and in order to address this, a Transportation Assessment is being undertaken for the development proposals. This has identified improvements required to be made to transport infrastructure in the area to mitigate the impacts of the development. The access strategy for the site does identify that the northern access to the site would only serve a very limited number of houses and no through connection is proposed to Stoneywood Terrace.

The development proposals at Stoneywood score highly in terms of sustainable transport with all housing being located within 400 metres of bus stops on an existing frequent bus route, close to Dyce railway station, Aberdeen Airport, close to major areas of employment and in addition provide a missing link in the core path/cycleway network between Dyce and Bucksburn.

It is not within the control of Dandara to create a new Rail Halt at Stoneywood, and this is not a priority for Network Rail or First ScotRail given the proximity of the existing station at Dyce. Pedestrian links should be developed/prioritised to complement the needs of the new residents in terms of connecting to key destinations, but also reflecting any staging of development build out. There is nothing however to prevent any Planning Gain monies from the Stoneywood development being used to help finance a new pedestrian bridge.

It is accepted that moving the Polo Park playing field to a new site on Market Street, Stoneywood will result in an increase in traffic along Market Street. This will in the main be restricted to match days and possibly weekends and evenings if the pitch is made available to the wider community. Investigations will be carried out to establish if it is possible to provide a separate access to the pitch from Wellheads Drive.

### Environment

Wildlife issues and mitigation measures have been considered as part of the Environmental Impact Assessment (EIA) that will be submitted in support of the application for Planning Permission in Principle. The EIA for Stoneywood Estate has also been used to inform the Stoneywood Masterplan. With regard to drainage issues that were raised at the consultation event, Dandara's engineers Quattro Consult have prepared a Drainage and SUDS strategy for the development which will ensure that site drainage is dealt with in an effective and sustainable manner. Details of the Drainage Strategy for the site are included in the Stoneywood Masterplan.

A major tree belt separates the existing Paper Mill operation from the proposed housing and it is considered that this provides an effective buffer between the industrial and residential uses. The issue of noise and vibration have also been considered as part of the Environmental Impact Assessment.

### Community/Recreational Facilities

The support for the provision of community facilities and retention of the woodland is welcomed and both are considered integral to ensuring a successful and sustainable development at Stoneywood. With regard to the loss of football pitches, the former pitch at the southern end of the site has not been in use for a number of years now. The pitch at Polo Park at the northern end of the site is still currently used by Stoneywood Juniors Football Club. It is intended that a new pitch which will be provided on land owned by Dandara at Market Street, Stoneywood will provide a replacement playing field and facilities for the pitches that are required to accommodate the houses allocated to Stoneywood in the Local Development Plan.

## Miscellaneous

In terms of public consultation it is considered that considerable attention has been given by both Dandara and the previous site owners to engaging with the local community on the development proposals for Stoneywood. The proposals have also been consulted on by Aberdeen City Council as part of the process of preparing the Proposed Aberdeen Local Development Plan. In addition people will be able to make representations to the planning application when it is submitted later this year.

Privacy issues for uses adjoining the development site are an important consideration and have been addressed through the masterplan design process. There are building and planning standards which require to be complied with in terms of the relationships and distances between buildings and this will help address the concerns raised by the residents of Polo Gardens. The preferred use for Stoneywood House is still under consideration by Dandara, however the use will need to be viable and take into account the listed building status of the house.

## Conclusion

The main conclusion arising from the public consultation was the strong support expressed by the local community for the Stoneywood proposals. People were also pleased at the approach being by Dandara taken to the development, especially the retention of much of the woodland, increased public access to and through the site and the provision of community facilities.

The greatest level of concern was expressed about the increased traffic that would be generated by the development. This is being addressed through the Transport Assessment (which is being developed to support an application for Planning Permission in Principle) which will identify the improvements that will require to be made to transport infrastructure in the area to mitigate the impacts of the development.

The other issues raised, such as the impact of the development on neighbouring uses, have been addressed through the Masterplan for the site and will also be considered at the detailed design stage.

Comments raised issue with the relationship between development on the Polo fields area and the existing Polo gardens. Residents suggested that the path links shown and proposed connections through the existing area could cause issues with privacy. Following the consultation the path links connecting these areas have been removed with connections made via Stoneywood Terrace. It is also proposed that the woodland belt along the western boundary between the existing housing area and the proposed development area be retained and enhanced to provide further separation.

### 1.2.4 Consulting Strategy for the Future

Community and Stakeholder consultation will form an ongoing part of the Stoneywood Masterplan and any detail applications. Dandara are keen to ensure the open communication and understanding with the local community is maintained throughout the process and propose that appropriate opportunities are made for consultation at relevant stages throughout the development process.

The next stage of consultation proposed as the development progresses is to hold further update meetings with the two Community Councils in the area. It is arranged for Dandara to meet Bucksburn and Newhills Community Council in May 2011 (Dyce and Stoneywood Community Council to confirm). It is intended that these update meetings will form a key aspect in keeping the local communities up to date with the evolving proposals.



PHOTOGRAPHS FROM STONEYWOOD ESTATE COMMUNITY EXHIBITION, NOVEMBER 2010

An aerial photograph showing a city and industrial area. A large white number '2' is overlaid on the left side, followed by a small white square and the text 'site analysis' in white. The background shows a dense urban area with residential buildings, a large industrial complex with several large buildings and a parking lot, and a river winding through the landscape. There are also green fields and trees scattered throughout the scene.

# 2 ■ site analysis

## 2.1 Site Description

### 2.1.1 City context

Stoneywood Estate is located to the north west of Aberdeen, bounded by the River Don to the east and the A947 to the west. It is well connected to the existing transport infrastructure with Dyce Railway Station being only 1.85km away and Aberdeen Airport only 1.9km. The proposed Aberdeen Western Peripheral Route will be easily accessible, only 2km west along the A96 and only 3.8km northwards along the A947. The site is also well served by buses and pivotally placed to provide a key link of the aspirational Core Path Network and National Cycle Route.

### 2.1.2 Local context

The north west of Aberdeen is one of the City's major employment zones with significant economic growth planned. Approximately 43% (Census 2001) of all work place employees (potential job opportunities) were located within 5km of the Stoneywood site. This indicates the opportunity to provide residential development in close proximity to employment uses and promote sustainable modes of transport.



SITE LOCATION IN CITY CONTEXT  
Not to scale Ⓞ North



AERIAL VIEW LOOKING SOUTH EAST TOWARDS THE CITY CENTRE



THE SOUTHERN TIP OF THE SITE, WITH BANKHEAD, BUCKSBURN AND MUGIEMOSS



AERIAL VIEW LOOKING WEST OVER ABERDEEN AIRPORT

## 2.2 Site History

### 2.2.1 Stoneywood House and Lodge

The site includes two listed buildings Stoneywood House (Grade B listed) and Stoneywood House Lodge (Grade C listed) both designed by James Matthews and built in 1850 by Alexander Pirie, the owner of Stoneywood Paper Mill. The historic maps on the following pages, show how Stoneywood House and also Waterton House to the south have influenced the landscape at Stoneywood.

### 2.2.2 Estate Landscape

The landscape setting offered at Stoneywood Estate is unique and like no other potential development site in Aberdeen. The original landscape structure was set around two estates with their respective signature houses of Stoneywood House and Waterton House. The immediate setting of Waterton House is not within the site boundary and is outwith these proposals.

The original landscape structure was set out purposefully to create shelter in the surrounding fields with more ornamental landscape and walled gardens set closer to the houses.

Both houses are approached along formal woodland drives, and address large lawns surrounded by extensive woodland planting which gives them a sense of privacy and seclusion. Associated with the houses are walled gardens which are currently in various states of disrepair.

Invasive species such as rhododendron have now taken over much of the woodland around Stoneywood House. The woodland structure of the estate is in need of management to arrest further decline.

### 2.2.3 Stoneywood Paper Mill

Stoneywood Paper Mill was established in 1770. Using water and power from the River Don the mill quickly became a successful business and has grown over the years. Stoneywood Paper Mill is still in operation and is an important part of the community of this area.

### 2.2.4 Aberdeen Navigation Canal

The remnants of the Aberdeen Navigation Canal (Aberdeen Inverurie Canal) (1805-1854) can be seen towards the south-west of the site on the 1865 Map Extract (see the next page). Much of its route was infilled and became the route of The Great North of Scotland Railway opened in 1854. Within the site, on the east side of the lane that leads to Stoneywood FC football ground, close to its junction with Stoneywood Terrace is Aberdeenshire Canal, Milestone 5 1/2 which is a Scheduled Monument. This is apparently located some 70m west of its previously reported position.



ABERDEENSHIRE CANAL, MILESTONE



STONEWOOD HOUSE



STONEWOOD HOUSE



VIEW FROM STONEYWOOD HOUSE



STONEWOOD HOUSE LODGE



STONEWOOD HOUSE DRIVE



WATERTON WALLED GARDEN



STONEWOOD WALLED GARDEN



STONEWOOD WALLED GARDEN



STONEWOOD WALLED GARDEN



STONEWOOD HOUSE AND RIVER DON



OPEN SPACE ADJACENT TO THE RIVER DON IN THE NORTH OF THE SITE



## 2.3 Site Area

### Ownership: Dandara Holdings Ltd

- Site Area: 34.96ha (86.38 acres)
- Stonewood North: 17.39ha (42.97 acres)
- Stonewood South: 15.27ha (37.73 acres)
- Market Street Site: 2.30ha (5.68 acres)

Dandara also owns the fishing rights to areas of the River Don in the North and the South of the site (shown on the plan). The fishing rights offer added potential for leisure opportunities at Stonewood.



## 2.4 Existing Woodland Structure

### 2.4.1 Celebration of local heritage and character

The first step vital to understanding the potential for development at Stoneywood was to reveal and understand the estate woodland structure.

Historic records show that the reason the mature and high quality landscape exists at Stoneywood is development. The landscape setting is directly linked to the development of the two estate houses of Stoneywood and Waterton. However, over many years the integrity of the original landscape has been eroded by development, roads and general neglect. Today, the inherent qualities of the site require repair, significant improvement and future management. Through sensitive development the landscape can be rejuvenated and made publicly accessible. Detailed topographical and tree surveys have been undertaken to define the capacity of the site. These have helped shape an appropriate scale and mix of development for the site.

A study of historic maps (opposite) has been undertaken in order to understand how the surrounding settlements, infrastructure and site woodland structure have evolved.

By 1865, the Aberdeen Navigation Canal had largely already been infilled and replaced by the The Great North of Scotland Railway. The presence of the two estate houses on the site, the Stoneywood Papermill next to the river and the clear structure of woodland can be clearly seen. Over time, the settlements to the west of the site grew and the mill gradually expanded. The woodland structure gradually became reinforced and over time several of the fields initially created were infilled with either self seeded or plantation woodland. With the opening of the Aberdeen airport to the north-west, the industrial area of Dyce developed and encroached into the north of the area. The construction of the A947 after 1975 dramatically changed movement patterns through this area of the city and the character of the Bankhead and Stoneywood area.

The woodland is central to the integrity and functionality of the site. The woodland naturally divides the site into sheltered development areas, whilst also uniting the site through recreational, ecological and heritage connections. The following pages look at the type and condition of woodland across the site in more detail.



1865



1901



1959



1975



2008

## 2.4.2 Existing woodland structure

### General overview survey

A General Overview Survey of the trees and woodland at Stonewood Estate has been completed to identify the main components of the tree cover and assess their composition, condition, character and value. This was completed by Donald Rodger Associates, arboricultural consultants in September 2008 and updated in 2010.

### Woodland character

The woodland structure of Stonewood Estate is a defining element of the historic estate setting and is an important element in creating the setting for Stonewood House. The woodland provides containment and shelter for the site and provides effective screening from neighbouring uses such as Stonewood Paper Mill, industrial units in Dyce and the A947. The woodland creates an attractive and pleasant environment.

### Woodland framework

The site is generally well wooded overall and consists of a strong and mostly interconnected framework of obvious woodland areas of varying size and character, and large groups of trees often forming prominent linear features. These enclose and define the various areas of fields and open space upon the site, creating micro-climate benefits.

### Woodland condition

Tree age tends to be mixed and varied although tending towards mature. A notable feature of the site is the large proportion of mature beech trees. These are in varied condition and have suffered from a lack of management over many years. A significant management input is required to bring them into a safe condition and to commence the regeneration process.

### Woodland types

The plan opposite is based upon the General Overview Survey carried out by Donald Rodger Associates, arboricultural consultants in September 2008. For more detail please refer to the full survey.



MATURE POLICY WOODLAND



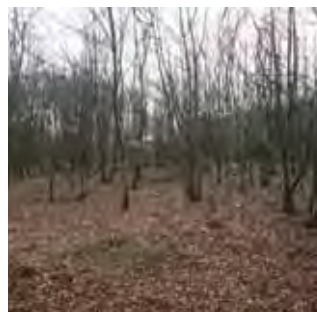
PLANTATION WOODLAND



MIDDLE AGED WOODLAND



YOUNG PLANTED WOODLAND



DEVELOPING SCRUB WOODLAND



MATURE BROADLEAVES



RECENT SHELTERBELT PLANTING



OVERGROWN BEECH HEDGE



SELF SEEDDED PIONEER SPECIES



INDIVIDUAL TREES

## Existing woodland KEY

### Woodland areas

- **Mature 'Policy' Woodland**
  - Large woodland blocks which tend to be associated with Stoneywood House and Waterton House. These consist predominantly of a limited mixture of broadleaved species, predominantly Beech and are long established in the landscape and in full maturity. They tend to form attractive and prominent features in the landscape and are of value as wildlife habitat.
- **Plantation Woodland**
  - Obvious areas of plantation woodland.
- **Middle Aged Woodland**
  - Areas of more natural, mixed woodland in middle age.
- **Young Planted Woodland**
  - Areas of native woodland planted in the last 12-15 years, generally establishing well.
- **Developing Scrub Woodland**
  - Relatively young scrubby sycamore regeneration. Multi-stem and possibly coppiced growth from felled trees. This has limited long term future potential and is considered to be of low value.

### Groups of trees

- **Mature Broadleaves**
  - Predominantly beech, even aged and mature trees forming prominent landscape features. Many of the individual trees are reaching the end of their safe life expectancy and display a range of defects associated with age and natural senescence. They are of high value landscape value.
- **Recent Shelterbelt Planting**
  - Relatively young (20 yrs) linear strips of planting along field boundaries with the purpose of providing screening and shelter. They are of moderate value as boundary screening.
- **Overgrown Beech Hedge**
  - Out grown and neglected beech hedge.
- **Self-seeded Pioneer Species**
  - Naturally seeded pioneer species such as birch established along the internal walls of the garden formerly associated with Waterton House, of limited value.

### Individual trees

- **Individual trees**
  - There are few trees of note or significance with the exception of the copper beech which is an attractive landscape feature in front of Stoneywood House.



## 2.5 Environmental

Enhancing the environment and ensuring the protection of key assets has been at the heart of the Development Framework process. The strategy for environment has sought to address the special environmental qualities of the site from the outset to address the mitigation, protection and enhancement of environmental assets and the close integration of environmental, landscape and place-making objectives.

This exercise has identified the following key site assets that need protection and enhancement as part of the delivery and management process:

- Protecting and enhancing any cultural, archaeological or heritage elements including avoiding potential impacts on the Stoneywood Estate Listed Buildings
- Ecological surveys and protection of habitats and species as part of the development proposals
- Protection and enhancement of established woodland of landscape, arboriculture or habitat value and protecting and enhancing the biodiversity capital on the site
- Protecting and enhancing the landscape and visual amenity of the site and surrounding area
- Protecting and enhancing all watercourses, groundwater and surface water, including the River Don corridor and Green Burn, through appropriate management
- Addressing user needs and the connectivity of the site within the wider community in terms of Greenspace, green networks and path links that connect the site and positively contribute to the recreational value and amenity of the River Don corridor

### Environmental Impact Assessment

Aberdeen City Council determined that a Statutory EIA is required and should be submitted with the application for Planning Permission in Principle (PPiP). Work on the EIA is currently underway. The EIA will cover the following topics.

- Policies and Plans
- Geology and Soils
- Land Use and Agriculture Infrastructure
- Hydrology, Drainage and Water Quality
- Ecology, Nature Conservation and Biodiversity
- Landscape and Visual Impact Assessment
- Cultural Heritage
- Air Quality
- Noise and Vibration
- Pedestrians, Cyclists and Community Effects
- Traffic and Transport
- Disruption due to Construction

### Consultation with Environmental Consultees

The EIA Team have consulted with Statutory Consultees and other key stakeholders in relation to a range of specialisms to ensure assessment has been undertaken in line with guidance and addresses all potential environmental issues and opportunities.

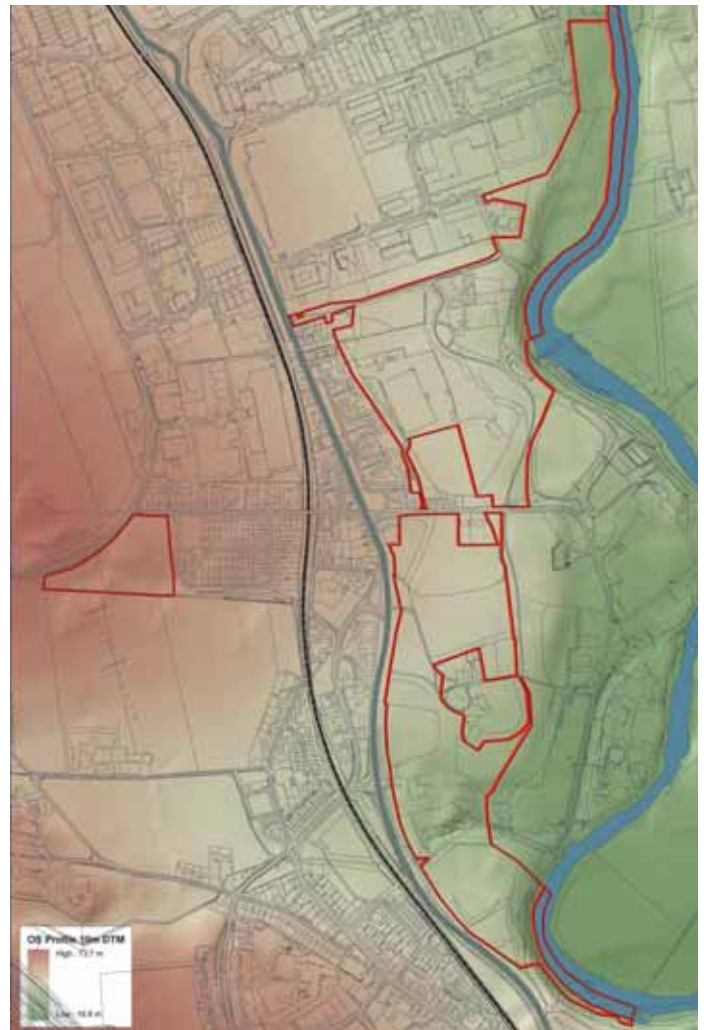
## 2.6 Topography

The main body of the site generally gently falls towards the east, the major exception to this is the steep sided gully of the Green Burn which runs west to east to meet the River Don at the southern end of the site.

Where the site meets the River Don at its northerly and southerly eastern edges the land drops sharply to meet the banks of the River Don, dropping by between 15m and 20m. Stoneywood Mill, situated to the east of the site and between these points, is located on lower ground within a bend in the river. Therefore, despite the river meandering away from and back to the site, a steep bank roughly follows the entire eastern boundary of the site, with the site set above the river and Stoneywood Mill.

The landform analysis plan below clearly illustrates how the River Don and its steep banks form a strong eastern boundary to the site.

Within the site boundary, the site is generally level with a few subtle changes, some of which are man-made. The western boundary of the site, particularly to the south, slopes steeply to meet the A947 with a level difference of up to 5m.



LANDFORM ANALYSIS PLAN

## 2.7 Hydrology

Quattro Consulting have provided input to the Masterplan with regard to existing hydrology, drainage and sustainable urban drainage opportunities.

Drainage across the site currently occurs from the west to the east into the River Don. The Green Burn also flows across the site collecting water from a wider catchment off Brimmond Hill. Within the site, particularly the northern area there are several man made open stone drains which carry water across the site.

The record drawings supplied by Scottish Water indicate various existing Scottish Water sewers located on site. The record plans also show existing private surface water culverts crossing the site. These are located towards the south of the site at the Sports / Social Club and Football Ground. Although not shown on the Scottish Water Records additional historic private drainage pipes/culverts exist within the site.

A combination of the existing Scottish Water records and historical site records has provided a good understanding of the existing foul (combined) and surface water features on site.



THE GREEN BURN



EXISTING OPEN STONE DRAINS

## 2.8 Utilities

Input on existing and proposed utility provision within the Development Framework and Masterplan has been provided by Troup Bywaters + Anders. Outline proposals for utilities infrastructure has been produced to support the Masterplan.

### Utilities Companies & Equipment

All utility companies who may have plant and equipment within or adjacent to the development site have been contacted and asked to provide relevant information and drawings. Details received have been plotted on a combined existing services drawing.

A survey of plant & equipment that is visible and accessible without intrusive works has been undertaken. A photographic record of this survey and observations have been recorded.

### Major Utilities Infrastructure On or Adjacent to the Development Site

By way of summary the following is noted regarding major utilities infrastructure on or adjacent to the development site:

- Stoneywood 33kV/11kV substation at Stoneywood Terrace/A947 junction.
- 2 No. 11kV cables serving Arjo Wiggins Stoneywood Mill are routed below ground south of Stoneywood Terrace.
- 1 No. 11kV cable route to substation at Waterton House
- 2 No. intermediate pressure gas pipelines feeding Arjo Wiggins Stoneywood Mill cross the A947 North of Greenburn and subsequently cross the site to follow the line of the existing pathway to the mill
- THUS fibre optic telecommunications services routed along the A947
- Scottish & Southern fibre optic telecommunications services routed along A947
- BT Services routed to Arjo Wiggins Stoneywood Mill across the southern tip of the site

### Utilities Capacity to Support the Development

- Scottish Water "Asset Capacity" search facility confirms there is adequate mains water and sewerage treatment capacity for the proposed level of development
- Initial discussions with Scottish Gas Networks indicate that there is sufficient gas infrastructure capacity to serve the proposed development
- Initial discussions with Scottish & Southern Energy indicate that there is sufficient infrastructure capacity to serve the proposed level of development

## 2.9 Airport Constraints

Initial consultation with the Civil Aviation Authority (CAA) and BAA Airports Ltd. suggests there will be little impact upon future development at Stoneywood. In addition, Stoneywood (other than the Market Street site) lies outwith the Noise Contours which would seek to restrict housing development.

All three main site areas lie close to the airport and its approaches, the basic information for creating the surfaces can be found in CAA publication CAP168 Licensing of Aerodromes. Where building proposals are beneath the Approach, Take-Off or Transitional Surfaces, cranes and other construction equipment must not infringe these surfaces. A Crane Permit would be required for Stoneywood North, Stoneywood South and the Market Street Site. As the Market Street Site is so close to the end of the runway, a Construction Methodology will need to be agreed by the Operations Department at the airport. Other restrictions are as follows:

- Lighting
- Landscaping
- Building Design
- Sustainable Energy
- Communication Navigation and Surveillance Systems



### Stoneywood North

Stoneywood north lies under the Inner Horizontal Surface (IHS) at 106.8m above ordnance datum (AOD). The western part of the site lies within the area of concern for lighting (dark green line). Lighting for construction and the completed development must be flat glass, full cut-off with no light spill above the horizontal.

### Stoneywood South

This area lies within 4 different surfaces. Close parallel red lines are the Transitional Surface - the height restriction is 97m to 106.8m above ordnance datum (AOD). These heights will also restrict the height of cranes and construction equipment. Alternative building methods may be required. Inner Horizontal Surface (IHS) covers the rest of the area at 106.8m AOD (Red and Green overlapping lines angled through the site are the Helicopter Approach and Take-off surfaces - these surfaces are higher than the IHS and so the IHS at 106.8m AOD will be the most limiting). Lighting for construction and the completed development must be flat glass, full cut-off with no light spill above the horizontal.

### Market Street

This site lies beneath the Approach Surface (wide spaced red lines) and the Take-off Climb Surface (wide spaced green lines) Approach Surface and the Take-off Climb Surfaces have the same height limits of 74m to 78m above ordnance datum (AOD). These heights will also restrict the height of cranes and construction equipment. Alternative building methods may be required. The Purple lines are the Public Safety Zone (PSZ). The restriction here is that the number of people working or living in the area must not be increased, and over time should be reduced. The Planning Authority are responsible for what can be approved in this zone. Lighting for construction and the completed development must be flat glass, full cut-off with no light spill above the horizontal.

An aerial photograph showing a city and industrial area. A large river flows through the scene, curving around a large green field. A multi-lane highway is visible on the left side. The city is densely packed with buildings, and there are large industrial buildings with blue roofs in the foreground. The background shows a vast, flat landscape under a clear sky.

# 3 ■ the development framework



### 3.1 Introduction and Purpose

In order to guarantee the Masterplan is relevant throughout the project life-cycle it has to be flexible and capable of responding to changes in people's lifestyles and environment as well as commercial and economic circumstances. This is particularly relevant as the Stoneywood Estate development will be planned and constructed over a number of years. Dandara, in consultation with Aberdeen City Council will direct and manage the quality of design and development at Stoneywood Estate, ensuring that the vision presented in the Masterplan is delivered.

The purpose of this chapter is to describe the concept for the site and how the main aims will be realised through site wide design principles and illustrated initially through a Development Framework.

The Development Framework has evolved from an analysis and appreciation of Stoneywood Estate and its strategic and local context. The Framework has been supported by a number of studies, providing technical and environmental robustness. It creates a co-ordinating structure which sets a robust and viable vision for the estate from which more detailed design can follow.

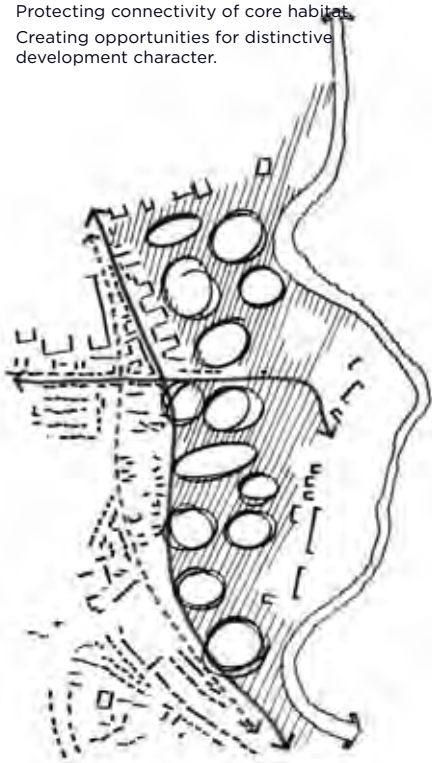
The Development Framework is described through six core elements, these are;

- Woodland Structure
- Development Blocks
- Access and Connectivity
- Core Roads
- Landscape Strategy
- Drainage Strategy

#### Creating the pockets

Revealing the estate woodland structure to create pockets for residential led development.

- Revealing the historic estate landscape.
- Undertaking woodland management.
- Protecting valuable areas of core habitat.
- Protecting connectivity of core habitat.
- Creating opportunities for distinctive development character.



#### Connecting the pockets

Connecting the residential development with a network of interconnected paths and streets.

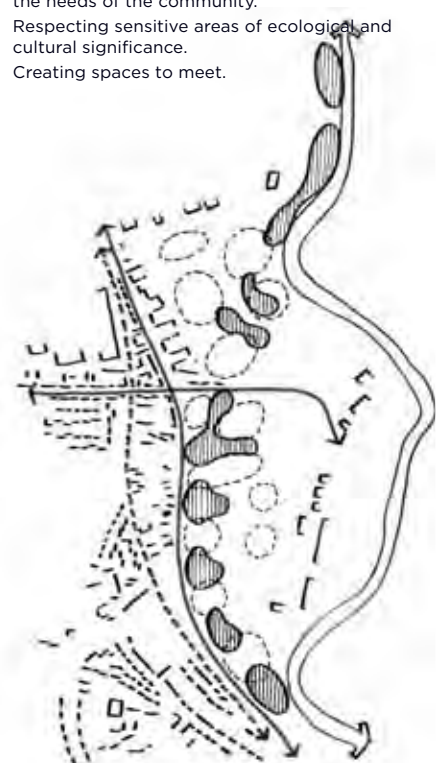
- Considering place before movement.
- Creating a walkable community.
- Ensuring cohesive communities.
- Integrating with the wider community.



#### Spaces between pockets

A series of public parkland spaces connecting residential pockets.

- Connecting the community with their environment.
- Providing a hierarchy of public spaces to serve the needs of the community.
- Respecting sensitive areas of ecological and cultural significance.
- Creating spaces to meet.



### 3.2 Concept

Stoneywood Estate is a unique site within Aberdeen, with a character defined by its estate landscape and strong woodland structure that forms an important unifying element for the site.

As part of the masterplan process the woodland has been assessed and understood, in terms of both type, condition and historic structure. Through carefully selecting areas for retention and removal with a clear rationale, development blocks or 'pockets' within the estate woodland structure have been created. These offer a variety of opportunities for development which connects with the landscape in which it is set.

Although there is a unique distinctiveness in creating a series of 'pockets' of development enclosed within mature woodland, there is also a danger that these become isolated. It is therefore vital that these clearly defined 'pockets' are well connected by streets and paths, both to adjacent 'pockets' and also into the wider context. The route taken by the main connecting street through the site has been carefully selected to become integral within the design of the development pockets. In this way it can help link the separate pockets together into a recognisable place.

Once the pockets are defined and connected, opportunities must be found within the estate for recreation. By promoting public access to woodland areas which connect development pockets and managing the remaining woodland areas with an ecological and habitat bias, both opportunities for recreation and ecological enhancement are achieved. A social bias to the spaces between development pockets further connects the site into a cohesive community and fosters a positive and sustainable relationship with the estate landscape.

The key aspects of the concept are illustrated below, identifying the main principles that underlie the Development Framework.

## 3.3 Woodland Structure

### 3.3.1 General principles for tree retention and removal

The Development Framework appreciates the value of the woodland at Stoneywood Estate and to achieve the principles set out in the concept the majority of the estate woodland structure at Stoneywood is retained and where appropriate enhanced with the aims of:

- Respecting and strengthening the historic mature estate woodland structure.
- Retaining and enhancing micro climate benefits.
- Maintaining and improving connectivity of habitat.
- Maintaining large core areas of woodland habitat.
- Providing screening of neighbouring uses such as Stoneywood Paper Mill.

The woodland at Stoneywood has generally suffered from a lack of management over many years. A significant management input is required to bring it in into a safe condition and to commence the regeneration process. Areas for suggested removal have been carefully considered with the aims of;

- Revealing the historic estate landscape setting.
- Enhancing the woodland setting by removing areas of low quality woodland.
- Removing areas deemed of low value to create development plots.
- Creating better visual and physical connectivity between development plots, allowing the creation of a cohesive new neighbourhood.
- Providing development plots which allow development to face into and address the woodland, engendering a positive community relationship with and stewardship of the woodland areas.
- Remove trees as necessary to allow the street network to connect across the site.
- Improving safety.

### 3.3.2 Rationale for areas of tree removal

#### G5

##### Proposal

- Complete removal

##### Description

- An outgrown and neglected beech hedge with poor scrub growth around dilapidated buildings. Canopy rather open and irregular. Trees poor and scrappy.

##### Rationale

- Considered to be of limited value with limited future potential
- Allows removal of dilapidated buildings, and provides redevelopment opportunity

#### W11

##### Proposal

- Complete removal

##### Description

- Relatively young and scrubby sycamore regeneration. This tends to be multi-stemmed and possibly coppice growth from felled trees. This tends on the whole to be rather poor and scrappy and has limited long term future potential.

##### Rationale

- Considered to be of relatively low value
- Removal allows the structure of the mature estate woodland to be revealed
- Removal creates an important development plot which helps link the site together allowing the creation of a cohesive new community

#### G13

##### Proposal

- Complete removal

##### Description

- Relatively young and scrubby self-seeded growth along line of walls in old garden. Mostly birch with some sycamore and goat willow.

##### Rationale

- Considered to be of low value with limited future potential.
- May cause damage to wall structure.
- Not fitting with the character of the walled garden.

#### W12

##### Proposal

- Complete removal

##### Description

- Small block of mixed woodland, forms a complete canopy with an open understorey. Predominantly sycamore with a few norway spruce forming a small stand at the east end. Even aged, at around 40 years. Rather poor quality overall, with many sycamores of inferior form and quality.

##### Rationale

- Quality considered to be rather poor overall.
- Removal allows the structure of the mature estate woodland to be revealed.
- Removal allows distance between development plots to be decreased improving physical and visual connections between development and helping to create a cohesive new community.

#### W13 (part)

##### Proposal

- Removal of small area of W13

##### Description

- Large area of mature broadleaved woodland occupying undulating ground to the south of Waterton House. Predominantly beech with some oak, sycamore and elm. Very large and old trees. Forms an almost continuous and unbroken canopy. High landscape and wildlife value.

##### Rationale

- A very small proportion of this important woodland group is proposed for removal to assist with an efficient redevelopment of the disused recreation centre site.

#### W10

##### Proposal

- Removal of plantation with some replanting as part of parkland setting (refer to development design principles for further detail).

##### Description

- Mature plantation of scots pine, with occasional douglas fir and younger norway spruce forming a single dense block on an area of flat ground. Mature and even aged plantation at approximately 80 years old. Planted in manner of commercial forestry plantation. Dense and complete canopy with bare and undeveloped understorey. Generally in fair condition but with some wind blow and storm damage.

##### Rationale

- To allow development to back onto development of OP32 (Aberdeen Local Plan 2008) and to provide a frontage addressing the woodland. This will promote public access and engender a positive community relationship with the woodland, rather than the rear boundaries of properties providing a barrier to the woodland.
- To create space for required SUDS facilities.

#### W1 (parts)

##### Proposal

- Selective thinning and clearance of areas to allow limited high quality development within the woodland (refer to development design principles for further detail).

##### Description

- Large block of woodland with dense and complete canopy. Even aged plantation of broadleaves and conifers. Poor species and age diversity. Poorly developed understorey with very limited regeneration.

##### Rationale

- Promote diversification of age and species.
- Promote development of understorey.
- Create plots for sensitive development.

#### Various

##### Proposal

- Selected trees removed to allow site wide infrastructure connections. Route and tree removal selected to minimise disruption whilst providing appropriate connections.

### 3.3.3 Management Scheme

The Masterplan proposals include increased public access to Stoneywood Estate. To ensure both safety of the public and the longevity of the woodland an appropriate management and maintenance regime is necessary. To this end a Management and Maintenance Strategy has been prepared by Donald Rodger Associates, arboricultural consultants.

# Woodland structure

## KEY

### Woodland retained

- Woodland area / groups of trees
  - Woodland to be retained and managed where condition allows
- Individual trees
  - Trees to be retained and managed where condition allows

### Woodland removed

- G5
- W11
- G13
- W10
- W12
- W13 (part)

### Woodland selectively cleared and thinned

- W1 (parts)

### ↔ Trees removed as required for infrastructure

Various

### Additions to woodland structure

- A47 Shelterbelt
  - Strengthening and adding to existing shelterbelts to provide separation from the A947
- Waterton House linear tree belt
  - Completing east-west belt of tree planting forming development plot

NB. Codes refer to General Overview survey. Refer to survey for further information



PROPOSED WOODLAND STRUCTURE AT STONEY WOOD ESTATE  
1:5000@A3 © North

## 3.4 Development Blocks

### 3.4.1 General landuse and density principles

It is proposed Stoneywood Estate will become a residential led mixed use development with between 350 and 500 residential units in association with around 2000sqm of supporting retail, service and community uses.

Development at Stoneywood will aim to meet the current Aberdeen City and Shire Strategic Development Plan target of 30 dwellings per hectare or above, as an average across the development plots of the site. Individually not all development plots will meet the 30 dwellings per hectare target, this is in recognition of the special and unique character of Stoneywood Estate.

### 3.4.2 Residential units

Development Block	Number of units		Plot Area (hectares)	Residential density range (units per hectare)	Rationale for density
	Min	Max			
N1a	1	10	n/a	n/a	Conversion and potential extension to Stoneywood House
N1b	1	1	n/a	n/a	Refurbishment of Stoneywood House Lodge
N2	20	30	1.69	12-18	To allow retention of character, walled gardens and steadings
N3	5	10	0.37	14-27	To allow sensitive development in cleared woodland area
N4a + N4b	4	10	0.94	4-11	To allow sensitive development within thinned woodland area
N5	40	55	1.77	23-31	To allow layout to address woodland edges
S1b	5	7	0.21	24-33	To allow detached properties benefiting from passive solar energy gain
S1a	30	45	1.36	22-33	To allow larger plots along and behind Stoneywood Terrace respecting context.
S2	85	105	1.72	49-61	To allow concentrated development aiding viability of a mixed use centre
S3	5	12	0.47	11-26	To allow retention of character in walled garden
S4	40	50	1.00	40-50	Achieving structure plan target
S5	25	40	0.86	29-47	Achieving structure plan target
S6	90	125	2.04	44-61	To allow concentrated development aiding viability of a mixed use centre

<b>Total</b>	350	500	12.43	
<b>Average</b>				28-39

### 3.4.3 Affordable housing strategy

Dandara will work with Aberdeen City Council and the registered social landlords to seek to provide the level of affordable housing (25%) as required by Local Development Plan Policy H5 - Affordable Housing. Where provided on site affordable housing will be spread throughout the site in an integrated and inclusive fashion, with concentrations potentially considered in areas which are:

- Well connected to the public transport network.
- Well connected in terms of pathways and cycle networks.
- In close proximity to proposed and existing mixed use centres and their associated retail and service provision.

### 3.4.4 Opportunities for mixed use service/retail provision

Within the Development Framework a principal mixed use centre and two additional locations which could accommodate support services for the new and existing communities at Stoneywood have been identified. The number and distribution of these centres is designed to promote walkable neighbourhoods with accessible locations as described below. The amount of service and retail provision actually provided will be dependant upon market forces however it is envisaged that in the identified areas the provision of flexible ground floor units will allow these centres to evolve. The delivery of the principal mixed use centre should be considered a priority.

#### Design principles for mixed use centres

- To be arranged around an appropriately sized and designed civic space or street with ground floor uses providing activity.
- To be well connected in terms of pedestrian, cycle, public transport and vehicular movement.
- To be visually prominent.
- To provide adequate cycle and vehicle parking (parking subject to maximum standards and not to dominate).
- To allow the growth and contraction of the centre as appropriate through the flexibility in design of ground floor units.
- To be closely integrated with residential units in terms of both horizontal and vertical mix.

#### Required Uses

A new health centre and community pharmacy as identified in the Infrastructure requirements of the emerging Local Development Plan should be accommodated on the site. This should be located within one of the three locations identified for mixed use. The current preferred location for this is within block S2 associated with the principal mixed use centre however the location, delivery and timing of the new health centre will be developed and coordinated with NHS Grampian. Refer to the infrastructure delivery section 7.1 for more detail.

#### Potential uses

Potential uses could include shops, crèche, care home, restaurant, bar, local supermarket and any suitable services which will serve and benefit the local neighbourhood.

#### Potential ground floor area

It is proposed that there could be around 2,000sqm of supporting retail, service and community uses at Stoneywood Estate, located either as a concentration in the principal mixed use centre location, or spread across a combination of the locations described below.

Mixed Use Centre Location	Reason for location
<b>Principal Mixed Use Centre</b>	<ul style="list-style-type: none"> <li>• Located at important street intersection</li> <li>• Good connections to existing Stoneywood</li> <li>• Good connections to Stoneywood Primary School</li> <li>• Good visibility from A947</li> <li>• Provides an anchor connecting S1a, S1b and S2 development blocks together</li> </ul>
<b>Additional Mixed Use Centre 1</b>	<ul style="list-style-type: none"> <li>• Well connected to signalised junction onto A947</li> <li>• Provides an anchor connecting S4 and S5 development blocks together</li> <li>• Good visibility from A947</li> </ul>
<b>Additional Mixed Use Centre 2</b>	<ul style="list-style-type: none"> <li>• Provides a core to block S6</li> <li>• Located close to proposed development at The Former Davidson's Mill, Mugiemoos</li> <li>• Well connected to Bankhead via underpass</li> </ul>

Development Blocks



## 3.5 Access and Connectivity

### 3.5.1 Pedestrians

The pedestrian network has been designed to actively encourage walking through the provision of a network which connects to the wider context. Pedestrian links should be developed to complement the needs of the new residents in terms of connecting to key destinations such as schools, employment and leisure facilities. Pathways, pavements and shared surfaces all combine to create the pedestrian network, these are often closely linked with areas of existing woodland to create pleasant walking experiences. The detailed design of streets and paths will follow guidance from 'Designing Streets, Policy Statement for Scotland' to further enhance the walking experience. As part of the path network provision the site will help facilitate an important link of the Core Path AP6, connecting to the new bridge across the Far Burn in the north and into the proposed Core Path provision at Davidson's Mill, Mugiemoos in the south.

### 3.5.2 Cyclists

Cyclists will be generally accommodated on the street network (on road) however the development will also help facilitate an important link of National Cycle Route 1 which will follow the same route as the Core Path AP6. The streets and cycleways will also allow a variety of cycle routes connecting the new community to the local and wider urban context and providing routes to significant destinations such as schools, employment and leisure facilities.

### 3.5.3 Public transport

The route of current public transport provision in the area is illustrated on the plan opposite. The majority of proposed development at Stoneywood Estate is within 400m of existing bus stops with frequent services connecting Stoneywood with the city centre, Dyce, Cove, Elgin and other destinations in between. Pedestrian connectivity to these stops has been considered as a priority.

An accessibility assessment has been carried out for the site by Dandara's transport consultants and discussions will be held with the bus operators and Aberdeen City Roads as to how public transport services to the site can be maintained and improved to determine how the site can best be served without disadvantaging existing residential areas and especially Stoneywood Junior School. These discussions will inform the Transport Assessment being prepared and will be submitted with an application for Planning Permission in Principle for Stoneywood Estate. Improvements that will be considered will include bus shelters, bus stopping lay-bys, pedestrian connectivity to bus stops, bus turning areas and bus operating subsidies.

The station at Dyce is close by and easily accessible, approximately 2km to the north-east of the centre of the site. This station is served by trains running to and from Aberdeen and Inverurie at intervals of between 10-35 minutes in either direction.

# Access and connectivity

## KEY

### Paths

- Proposed Core Path AP6 + National Cycle Route 1
  - Within Dandara control
- Aspirational Core Path AP6 + National Cycle Route 1
  - Outwith Dandara control. Dandara will endeavour to enter negotiations with adjacent landowners and ACC to achieve delivery. Failing successful resolution Core Path and NCR 1 to be routed through site by alternative route.
- Proposed Path Network
  - Including formal and informal paths, shared surfaces and pavements.
- Existing Core Path
- Existing Path Network (outwith site)

### Cyclists

- NCR 1
- Aspirational NCR 1
  - Cyclists generally otherwise to be accommodated on street network in line with Designing Streets guidance.

### Public Transport

- Existing bus route
- Existing bus stops
- Potential bus loop

### Crossings

- Uncontrolled Crossing
- Crossing at signalised junction
- Toucan crossing
- Existing Subway



PROPOSED ACCESS AND CONNECTIVITY AT STONEYWOOD ESTATE  
1:5000 @ A3    North

## 3.6 Core Streets

### 3.6.1 Street design approach

Access and connectivity has been considered and designed following Designing Streets, Policy Statement for Scotland. Street design has been approached following the street design hierarchy looking at street structure, then layout, followed by detail. At all times this has aimed to consider place before movement, with the needs of pedestrian, cyclists and public transport considered before those of other vehicles.

### 3.6.2 Street structure

The street structure has been designed as a site specific response which connects into the adjoining existing road and street network, ensuring maximum pedestrian connectivity. The following titles and descriptions are indicative only and may be subject to change by Aberdeen City Council or through detail design development.

The layout has been specifically designed to ensure the woodland setting contributes to sense of place. This has been achieved through a combination of streets running parallel to woodland edges, streets passing through areas of woodland and street vistas terminating in woodland views. The route of streets has been carefully selected to try and minimise the disruption to existing trees. A detailed tree survey will be required to finalise exact routes and avoid adverse impacts on root systems.

Streets have been predominantly arranged on an east-west alignment to allow properties to benefit from maximum solar energy gain.

The street layout to the north of Stoneywood Terrace has been designed with the aim of retaining the character of Stoneywood Estate through the use of Estate Driveways which will serve a limited number of properties. These will respect the character of the landscape and promote safe vehicle movements by reduced width carriageways with passing places.

To the south of Stoneywood Terrace the layout has been designed with several key aims. The Primary Street has been made to penetrate into the site, giving the site a sense of arrival and place. Where possible and practical the Primary Street has development to both sides, helping create a sense of passing through a place and therefore linking the separate development plots together. The use of connected street networks has aimed to ensure there is both physical and psychological connectivity between development plots.

Street layout has been considered in tandem with landuse. Potential mixed use centres are located at key nodal points of the layout and are well connected to the surrounding area. A potential bus loop has been incorporated within the site however all properties are located within 400m from existing services. An accessibility assessment has been carried out for the site by Dandara's transport consultants and discussions will be held with the bus operators and Aberdeen City Roads as to how public transport services to the site can be maintained and improved to determine how the site can best be served without disadvantaging existing residential areas and especially Stoneywood Junior School.

### 3.6.3 Parking standards

Car parking provision will be provided in accordance with Aberdeen City Council guidance. This will be integrated into the design layout following guidance within Designing Streets to ensure that cars do not dominate the streetscape.



# Core Streets

## KEY

### Junctions

- Unsignalised Junction, Priority T Junction
- Signalised junction
- Left in, left out
- Left in, left out, right filter lane in

Note: All junctions are existing on site and will be upgraded to appropriate standard for development of this scale and type.

### Streets

- Primary Street
- Secondary Street
- Estate Driveway
- Lane/Shared Surface/Courtyard

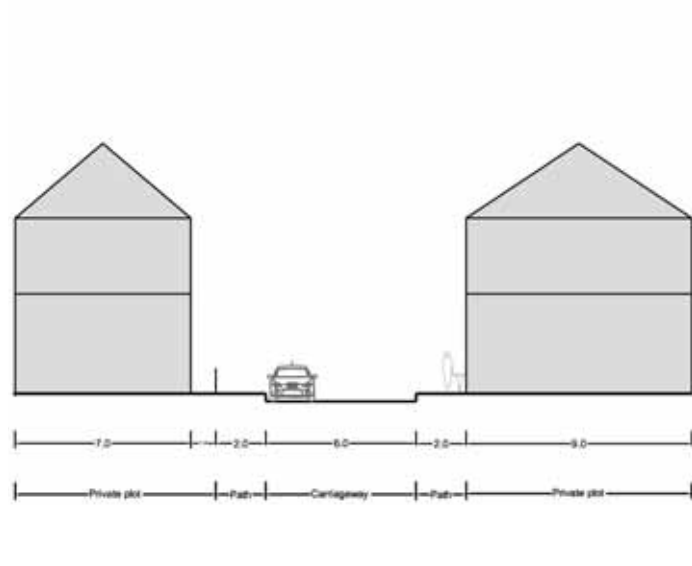
See over for street typologies.



### 3.6.4 Street layout

Below is a description of the design standards and character of the four main street types. The following titles and descriptions are indicative only and may be subject to change by Aberdeen City Council or through detail design development.

In addition to the core streets defined below it is anticipated that there will be further streets, lanes and shared surfaces within Development Blocks with these being designed in accordance with 'Designing Streets' policy and appropriate standards/requirements of Aberdeen City Council.



#### Primary Street

##### Description

The core spine running the length of the southern site. Designed to allow potential public transport loop.

##### Width

6.0m with localised widening to ensure two buses/ or refuse vehicles can pass each other.

##### Curve radii

No minimum curve radii but designed to ensure two buses (all operational bus types), can pass each other and accommodate refuse and other heavy goods vehicle movements.

##### Junction radii

- Where joining external road network - 10.7m
- Where joined by minor roads - 3m

##### Forward visibility

Minimum 25m. To be restricted through the use of building positions and landscaping to promote slower vehicle speeds.

##### Junction visibility

- With Stonewood Road - 9.0m x 90m.
- With Stonewood Terrace - 4.5m x 60m.
- Where joined by minor roads - 2.4m x 25m

##### Pavement

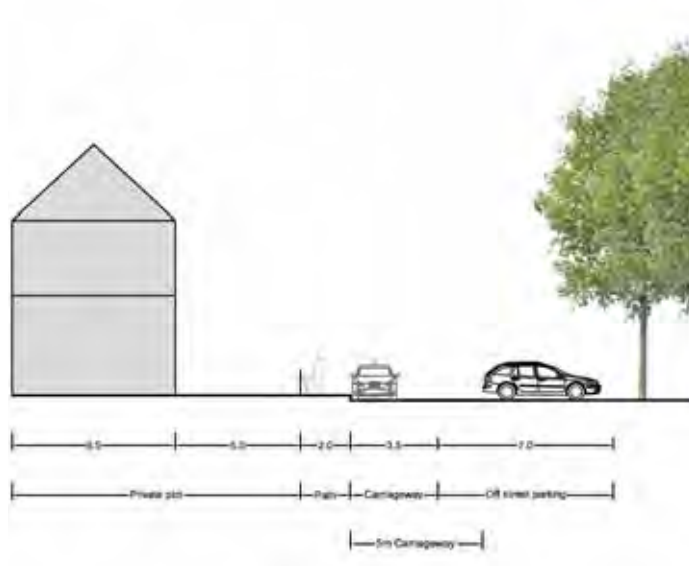
2m wide minimum pavement provided on either side of the street except where development is to one or neither side of the street, in which event the requirement can be dropped to one side. Where shared footways are to be provided they must be a minimum 2.5m wide.

##### Parking

Limited on street parking allowed around mixed use centres, to be accommodated by subtle widening within street.

##### Utilities

Provision of utilities will be located within the pathways.



#### Secondary Streets

##### Description

Secondary streets creating connecting loops and giving access within larger development blocks.

##### Width

Generally 5m, with the potential to reduce to 3.5 in areas where development is only on one or neither side of the street.

##### Curve radii

No minimum curve radii but designed to ensure two cars can pass each other. To be confirmed with swept path analysis.

##### Junction radii at priority junctions

3m

##### Forward visibility

Minimum 11m. To be restricted through the use of building positions and landscaping to promote slower vehicle speeds.

##### Junction visibility

2.4m x 25m

##### Pavement

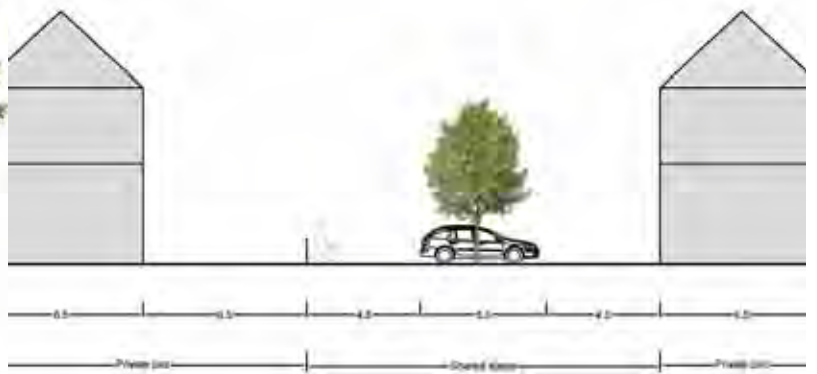
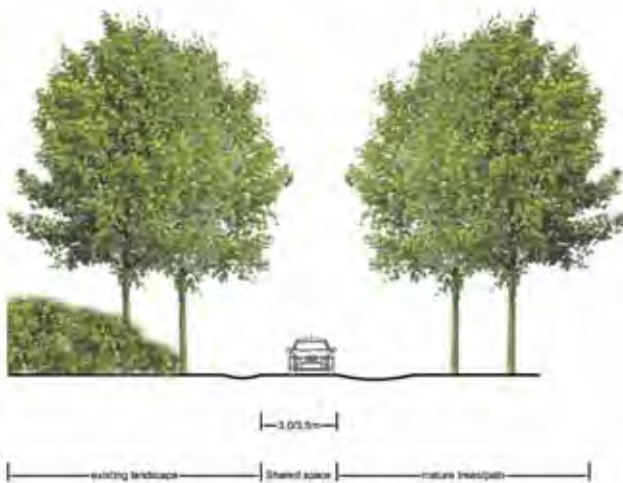
2m wide minimum pavement provided on either side of the street except where development is to one or neither side of the street, in which event the requirement can be dropped to one side. Where shared footways are to be provided they must be a minimum 2.5m wide.

##### Parking

Limited on street parking allowed to be accommodated by subtle widening within street or within woodland edge. Trees and street furniture used to discourage indiscriminate parking.

##### Utilities

Provision of utilities will be located within the pathways.



## Estate Drives

### Description

Located in the northern area of the site these drives will be of a character fitting the Estate Landscape. Of a sweeping form these will respect the setting of Stonewood House. These drives whether enhanced or proposed should reflect the historic character of the estate setting in terms of scale and detail.

### Width

3.5m with 10.5m x 5.5m intervisible passing places.

### Curve radii

No minimum curve radii.

### Junction radii

3m

### Forward visibility

Minimum 11m. To be restricted through the curvilinear form of the Estate Drives promoting slower vehicle speeds.

### Junction visibility

- With external road network - 4.5m x 60m
- With minor roads - 2.4m x 11m

### Pavement

No pavement provision, the Estate Drives are to be shared surfaces reflecting the character of the historic estate. Where pathways are to be provided they will be remote from the road.

### Parking

No parking.

### Utilities

Utilities will be located within 'soft dig' along side the driveways (subject to restrictions associated with existing mature trees).

## Lanes / Shared Surfaces / Courtyards

### Description

Lanes, shared surfaces and courtyards providing access to housing units without necessarily having defined footways.

### Width

Minimum 6m, localised pinch points in selected locations may be permissible.

### Curve radii

No minimum curve radii.

### Junction radii

3m

### Forward visibility

Forward visibility should be restricted through the use of building positions and landscaping to promote slower vehicle speeds.

### Pavement

Generally shared surface or with pavements where appropriate.

### Parking

Parking spaces defined outwith 6m carriageway, trees and street furniture used to discourage indiscriminate parking but considerate of the mobility impaired.

### Utilities

Utilities will be located to suit appropriate routing.

## 3.7 Landscape Strategy

### 3.7.1 Landscape framework

Usable, well-designed, public space is recognised as creating opportunities for communities to interact, promoting a sense of place and helping to promote healthy active lifestyles. This section describes how and where this will be provided at Stoneywood Estate and how this meets Aberdeen City Council standards.

The estate woodland structure, as described within Section 3.3 is the principle organising structure of the site. This woodland structure provides considerable informal recreation opportunities as described below in 'Core Woodland'.

In addition to this wider network of informal open space 'Core public spaces' are also defined, described below. These are areas in which increased public access and activity is encouraged, in some cases 'Core public spaces' are also part of the woodland structure.

### 3.7.2 Core woodland

The 'Core Woodland' areas provide the key structuring element for the development and creates setting and sense of place. A network of pathways as described in Section 3.5 provides limited access through the 'Core woodland' which will be managed with an environmental and habitat bias, ensuring appropriate regeneration of the woodland together with public safety.

### 3.7.3 Core public spaces

To complement the 'Core woodland' and provide areas for play and social interaction, seven core public spaces have been identified. These are briefly described in the table below and in further detail in Section 4.3.

The location, size and type of these spaces varies across the site to ensure appropriate levels of good quality and accessible open space provision for all members of the community.

A key principle in the location of these spaces was to further link and connect the development 'pockets' together to form a cohesive community. These spaces are also well integrated with the street and path networks.

As described earlier the 'Core public spaces' include both areas of open 'parkland' and areas of woodland. Appropriate management of the woodland 'Core public spaces' with a bias on public activity and access is essential to allow the success and safety of these spaces.

The aim for all public spaces will be for them to be adopted by Aberdeen City Council, however a factoring agreement will be implemented by Dandara Ltd for all non adopted public open space.

### 3.7.4 Key civic spaces and other spaces

The 'Core public spaces' indicate the location of strategic open space on the site. These are not intended to be regarded as the only space provision at Stoneywood Estate. Opportunities for the creation of spaces within development blocks should be promoted and should include the 'Key civic spaces' as indicated on the plan opposite in addition to further small residential spaces within blocks.

### 3.7.5 Open space standards

The Development Framework proposes up to 500 residential units at Stoneywood Estate. Given an average occupancy of 2.5 people per unit, this would result in a population of 1250 people. Following the Aberdeen City Council standards for open space in residential development of 2.8 hectares per 1000 people this equates to a requirement for approximately 3.5ha of public open space.

Following the Aberdeen City Council standards as a guide to the open space requirements in terms of size, accessibility and quality the table below illustrates how the Development Framework exceeds requirements.

The Development Framework includes;

- 10.80ha of Core Public Spaces
- 9.89ha of Core Woodland Areas
- Total = 20.69ha of public open space

This does not include private gardens, streets or courtyards including the lawn setting of Stoneywood House. The core woodland and core public spaces equate to approximately 59% of the total site area.

The landscape strategy presented here meets the aims of the Local Development Plan and will aim to meet the standards set within the Supplementary Guidance - Open Space and Green Infrastructure, through future design stages.

Plan Ref	Reference	Size	ACC Standards		Accessibility	Description of Space	Quality Standard
			Type of Space	Function of Space			
Na	'Core woodland' (not included within 'Core public spaces')	9.89ha	Na	Natural Greenspace and Green Corridors	Varies, although all residents are within 50m of core woodland areas.	The woodland within the Estate is considered a valuable asset to the existing and proposed community. The woodland can provide opportunities for walking and informal recreation across the site area.	See woodland management plan.
L1	Northern River Park	5.0ha	Major Open Space	Natural Greenspace and Play	All residents are within 1,500m (20min walk).	The Northern park is the largest single area of public open space within Stoneywood Estate. A community park with an ecological bias, retaining and enhancing existing vegetation whilst providing a point of access to the River Don. The park will also provide opportunities for an equipped play area and outdoor recreation including fishing. The park will incorporate the core path link and aim to integrate with the Dyce river side green space.	Green Flag 'good' and NPFA LEAP Standard.
L2	Stoneywood Woodland Park	1.01ha	Local Open Space	Natural Greenspace and Play	All residents north of Stoneywood Terrace within 200m.	The 'Woodland Park' provides a Local Open Space for residents north of Stoneywood Terrace. Providing a mix of both open space and woodland, the space will provide opportunity for both formal and informal play. Should include an area for SUDs provision within the park area.	Green Flag 'good' and NPFA LEAP Standard.
L3	Stoneywood Terrace Park	1.11ha	Local Open Space	Natural Greenspace and Play	All residents of S1 and S2 within 200m.	With good links to the mixed use centre and existing residential area, this area will provide a focus for the local community. It should provide a variety of smaller spaces for equipped play, seating and informal recreation both within woodland and areas of open space. Should incorporate a core path link, connecting to the wider area.	Green Flag 'good' and NPFA LEAP Standard.
L4	Waterton North	0.40ha	Local Open Space	Natural Greenspace	All residents of S2, S3 and S4 within 200m.	An area for local play and informal recreation set within the estate woodland. The area should include a series of paths connecting the adjacent residential areas and include areas for seating.	Green Flag 'good' and NPFA LEAP Standard.
L5	Waterton South	0.31ha	Local Open Space	Natural Greenspace	All residents of S4 and S5 within 200m.	An area for local play and informal recreation set within the estate woodland. The area should include a series of paths connecting the adjacent residential areas and include areas for seating.	Green Flag 'good' and NPFA LEAP Standard.
L6	Southern Point	0.67ha	Local Open Space	Green Corridor and Play	All residents of S6 within 200m.	A small equipped area for play to provide for the residents to the south of the estate. Should be designed to integrate with the layout of Block S6. The space must incorporate the core path and good links to the adjacent woodland which will allow views over the River Don.	Green Flag 'good' and NPFA LEAP Standard.
L7	Market Street	2.3ha	Neighbourhood Open Space	Outdoor Sports Areas	All Residents within 1200m.	A space to provide a full size sports pitch and changing facilities.	NPFA Standards

# landscape strategy

## KEY

**Core Woodland Areas**  
Does not include woodland identified within Core Public Spaces.

### Core Public Spaces

- L1** Northern River Park
- L2** Stonewood Woodland Park
- L3** Stonewood Terrace
- L4** Waterton North
- L5** Waterton South
- L6** Southern River Park
- L7** Market Street Park

**Key Civic Spaces**

**Formal Play Areas**  
Locations for areas incorporating equipped play areas.

**Paths Network**  
For more detail on the path network refer to section 4.5.

**Development Blocks**



## 3.8 Drainage Strategy

### 3.8.1 Foul Drainage

Based on dwelling figures quoted in the 'Development Density Plan', preliminary calculations indicate that the foul water flows for the development will be in the region of 2.67l/s

Scottish Water drainage plans have been consulted and this would suggest that the development will drain, by gravity, to the existing foul sewer that runs through the site in a north to south direction.

It is anticipated that the development will have separate foul drainage network linking to the Scottish Water network. Scottish Water have requested that a Development Impact Assessment is completed.

Scottish Water have confirmed that their Strategic Asset Capacity and Development Plan 2010 indicate current capacity for circa 2000 units at Persley WWTW which is local to the site and will serve the future users.

### 3.8.2 Surface water and SUDS

#### SUDS Overview

The surface water drainage requirements for the Stoneywood site have been investigated with interested stakeholders. Based on current development guidance the site will require to be drained via an approved Sustainable Drainage System (SUDS).

The SUDS is likely to include a piped drainage system collecting roof, driveway/ parking courtyards and road water and treating and attenuating this runoff in a detention basin. It is considered that these features will be adopted by Scottish Water and therefore will be required to comply with their standards (Sewers for Scotland 2). Reference is also made to 'The SUDS Manual' (Ciria C697) as this guidance states the relevant number of 'treatment train components' a development requires. This is shown in the figure below.

Receiving Water Sensitivity →	Low	Medium	High
Runoff Catchment Characteristic ↓			
Roofs Only	1	1	1
Residential roads, parking areas & commercial zones	2	2	2

Number of Treatment Train Components.

It should be noted that as differing levels of treatment apply to runoff from roofs and runoff from roads. It is therefore recommended that a series of SUDS measures are implemented incorporating items such as road side filter strips, porous surfacing where appropriate to adopted areas and detention basins prior to connection to the existing network.

#### Adopted Road Suds Infrastructure

It is noted that the recent publication of SUDS for Roads provides complementary information to the current Aberdeen City Council Road Standards. SUDS for Roads promotes a number of options to deal with surface water depending on whether the access is a Road or a Street.

For Stoneywood the character of the proposed location will be informed by Designing Streets with layouts taking full cognisance of SUDs for Roads. SUDs for Roads promotes the following options for dealing with surface water;

- Filter strips
- Pervious pavements
- Swales
- Filter drains
- Infiltration trenches

Depending on where the proposed roads and streets are located the above features will be included with consultation through the RCC Process with the Council Roads Engineers.

#### Proposed Drainage Catchments

The proposed drainage strategy indicates that the development could utilise as many as 6 catchment zones serving the individual development blocks. These could each have individual outfalls to the existing watercourse or a 'regional' surface water sewer could be installed outfalling to one location (Green Burn). The outfall solution has been considered for the following proposals;

These are shown opposite and are detailed below:

##### Catchment 1

It is proposed that this would serve ALL of the development sites from N1-N5. A single detention basin is proposed that would outfall to the Mill Pond. This has been agreed as part of the previous Bancon Development proposals and is the subject of separate Technical Approval.

##### Catchment 2

It is proposed that this would serve development sites from S1a-S1b. A single detention basin is proposed that would outfall to the new 'regional' surface water sewer and eventually discharging to the Green Burn.

##### Catchment 3

It is proposed that this would serve development sites from S2. A single detention basin is proposed that would outfall to the new 'regional' surface water sewer and eventually discharging to the Green Burn.

##### Catchment 4

It is proposed that this would serve development sites from S3 & S4. A single detention basin is proposed that would outfall to the new 'regional' surface water sewer and eventually discharging to the Green Burn.

##### Catchment 5

It is proposed that this would serve development sites from S5. A single detention basin is proposed that would outfall to the new 'regional' surface water sewer and eventually discharging to the Green Burn.

##### Catchment 6

It is proposed that this would serve development sites from S6. Due to the topography of this zone it is proposed to utilise porous paving. It may be possible to provide a detention basin to the north boundary of the zone however further checks will be required to check the suitability of this proposal. This zone would have a separate outfall to the Green Burn and not connected to any 'regional' surface water sewer proposed.

#### Greenfield Release Rates for Catchments

To comply with Scottish Water standards the detention basin(s) would require a discharge equivalent to a 1 in 2 year green field release value and have a capacity to store the required volume of a 1 in 30 year storm event. If either the Local Authority or SEPA require the SUDS to attenuate a larger storm event then volumes will be recalculated to suit.

The existing catchments on the site have been analysed and suggest that:-

- Catchment 1 - The 1 in 2 year Greenfield Release is approximately 27.44l/sec
- Catchment 2 - The 1 in 2 year Greenfield Release is approximately 14.18l/sec
- Catchment 3 - The 1 in 2 year Greenfield Release is approximately 9.93l/sec
- Catchment 4 - The 1 in 2 year Greenfield Release is approximately 9.07l/sec
- Catchment 5 - The 1 in 2 year Greenfield Release is approximately 5.10l/sec
- Catchment 6 - The 1 in 2 year Greenfield Release is approximately 11.62l/sec

The figures quoted above are based on a green field flow calculation as per the Institute of Hydrology (IH124) guidance.

### 3.8.3 Flooding Overview

#### SEPA

SEPA have been consulted and an understanding of the site issues associated with flooding identified.

Early consultation has identified that there are low lying areas of the site that are not appropriate for development due to the proximity to the 1:200 year flood mapping.

The development blocks that have been identified are all outwith the SEPA flood zone.

# drainage strategy

## KEY

- Catchments**
- Catchment 1
  - Catchment 2
  - Catchment 3
  - Catchment 4
  - Catchment 5
  - Catchment 6

- Features**
- Detention basin location
  - Regional surface water sewer
  - Outflow to mill pond

(NB. Pipe routing to minimise disruption to existing trees.)



# 4 ■ the masterplan







## 4.1 Introduction and Purpose

This section of the document consists of an 'Illustrative Masterplan'. This has been prepared working within the parameters set out in the Development Framework. This is not a definitive plan for the site however illustrates one possible interpretation of the Development Framework and acts as a guide to how the spirit of the guidance should be interpreted.

The illustrative masterplan has been produced to describe in more detail key design principles for the 'Core landscape areas' and 'Development blocks' previously set out in the Development Framework. The guidance aims to ensure that these are developed with a strong identity that responds to both their context and setting and also to their relationship with the wider site. It is intended that this guidance will provide the starting point for detailed planning applications which will follow.

#### 4.1.1 Illustrative masterplan - Ground level

This plan illustrates how the 'Development blocks', 'Core public spaces' and areas of 'Core woodland' will relate to each other.

It demonstrates how areas of core woodland and associated understorey planting must be retained and managed to ensure spaces are well defined and enclosed, such as around Stoneywood House and the walled garden.

In contrast to the areas of core woodland it shows how the areas of core public space will allow and encourage integration and movement between development blocks. Development is designed to address and overlook the core public spaces.

Importantly the plan illustrates how an extensive path network must connect the development areas with the areas of public space. Further it illustrates how a path network should be identified to allow access to the more sensitive and ecologically significant core woodland areas to ensure safe and appropriate movement within those areas.



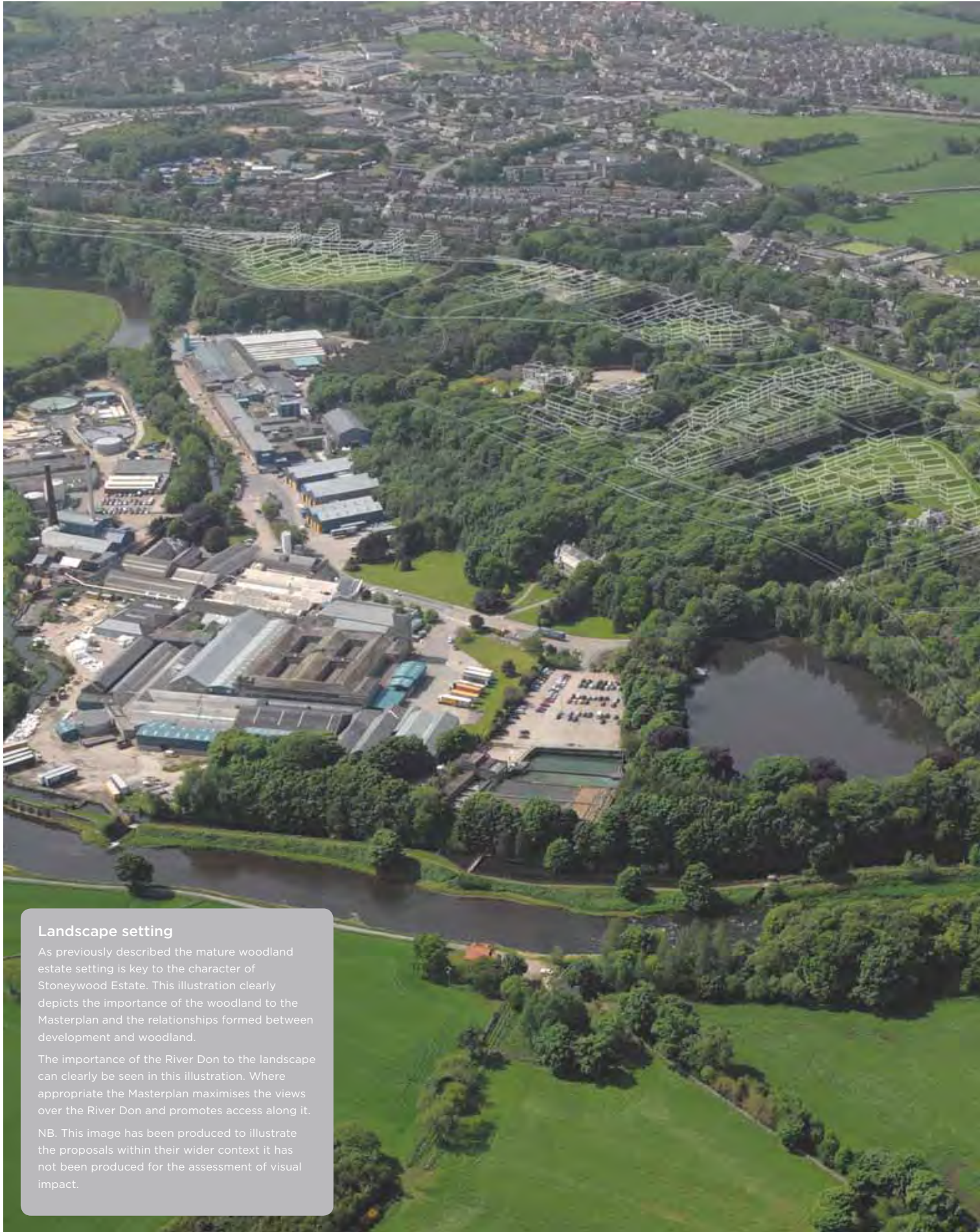
## 4.1.2 Illustrative masterplan - Canopy level

The plan shown on this page illustrates how the development areas should be located within the core woodland. It demonstrates how the woodland structure will allow the creation of distinctive and well enclosed development areas whilst maintaining a strong overall structure. The woodland will provide a uniting feature of the site, providing ecological greenlinks, a recreational gateway to the river and opportunities for path links around the site.

This plan in combination with the plan on the previous page shows how some of the development blocks, core public spaces and connections should be set within woodland. The opportunity for a limited number of properties within woodland in N4 is something unique to Stoneywood and should be explored as part of the proposals.

Careful management should make it possible for core public spaces and pathways to be identified within woodland areas across the site to allow the residents to fully experience the unique environment in which they are living.





### Landscape setting

As previously described the mature woodland estate setting is key to the character of Stoneywood Estate. This illustration clearly depicts the importance of the woodland to the Masterplan and the relationships formed between development and woodland.

The importance of the River Don to the landscape can clearly be seen in this illustration. Where appropriate the Masterplan maximises the views over the River Don and promotes access along it.

NB. This image has been produced to illustrate the proposals within their wider context it has not been produced for the assessment of visual impact.



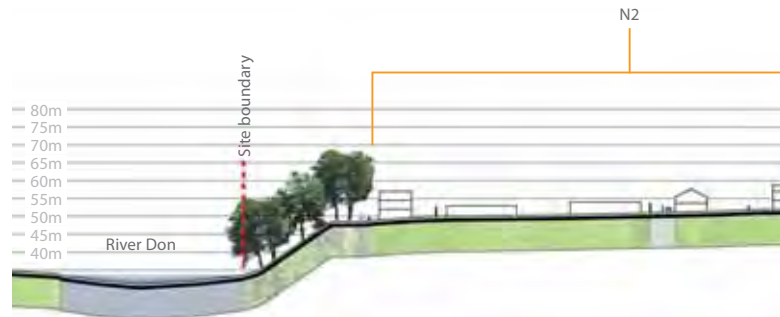
**The A947**

The A947 runs adjacent to the site for the majority of its length. Currently visual connection from the road into the site is limited due to shelterbelt planting along its length.

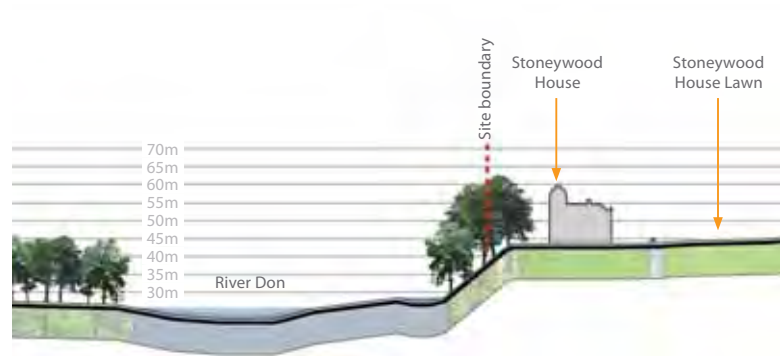
The Masterplan promotes the retention and enhancement of this existing shelterbelt, maintaining the containment of both the site and the development blocks. Within each development block adjacent to the A947 the principles of the Masterplan are for properties to either face or have gable ends to the A947, these will address and overlook both the street and path network. Properties should not back onto the A947 but instead present a positive face, helping Stoneywood Estate connect and integrate with the surrounding context.

### 4.1.3 Illustrative masterplan - Sections

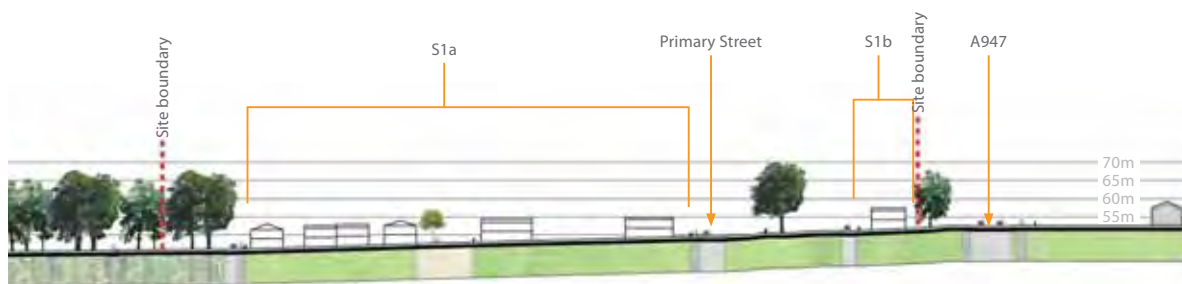
The following sections aim to illustrate the three dimensional relationship of proposed development with the existing woodland. These sections clearly show how development sits within distinct pockets in the mature woodland structure, yet aims to create a connected and integrated neighbourhood.



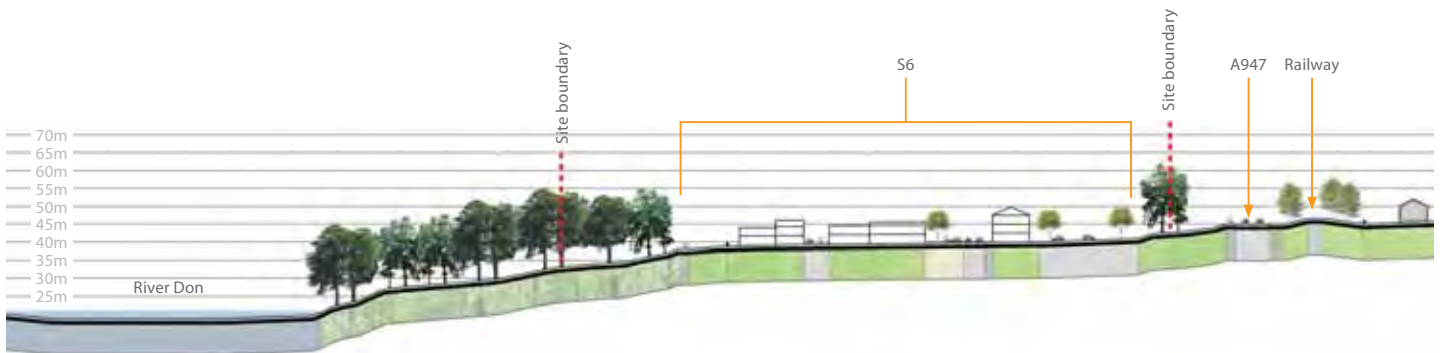
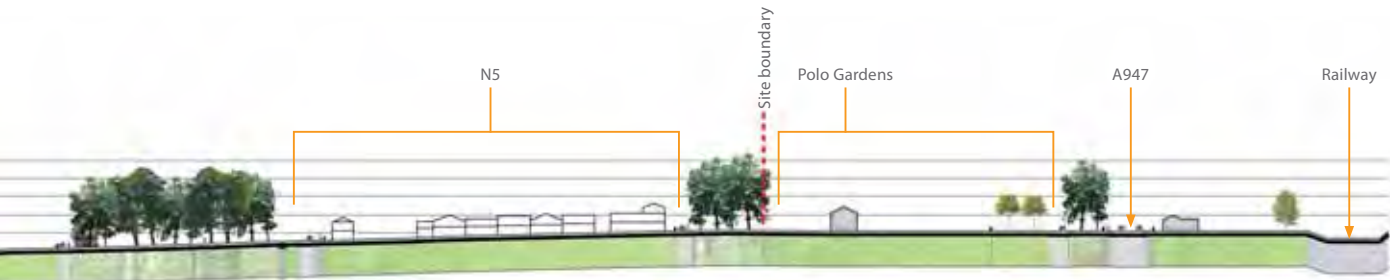
**Section A**  
1:1500@A3



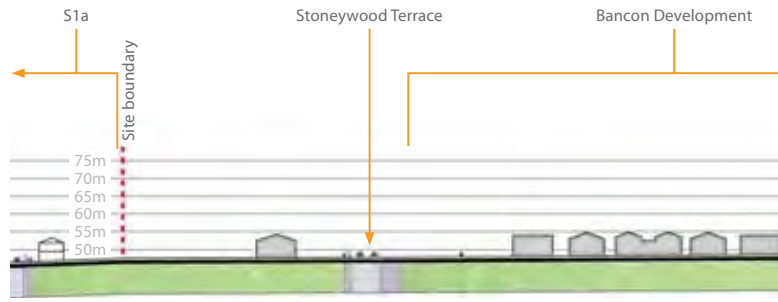
**Section B**  
1:1500@A3



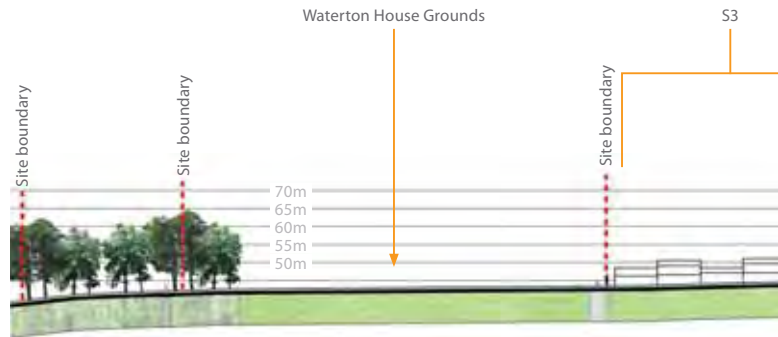
**Section C**  
1:1500@A3



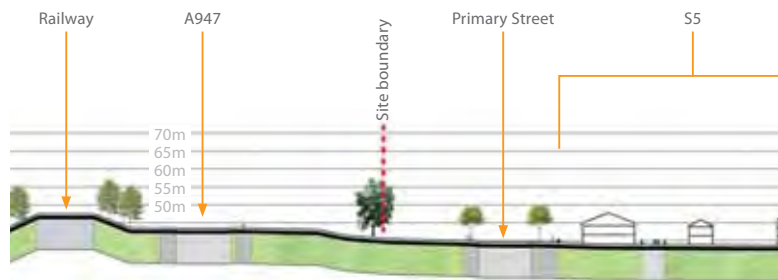
**Section D**  
1:1500@A3



**Section E**  
1:1500@A3

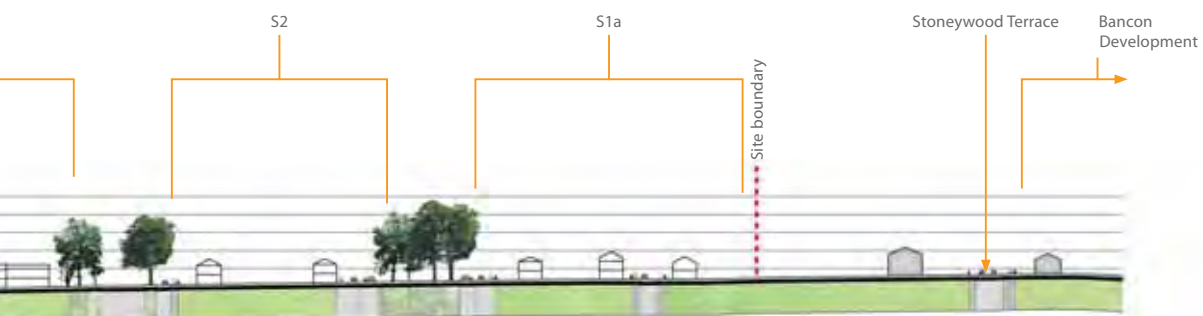
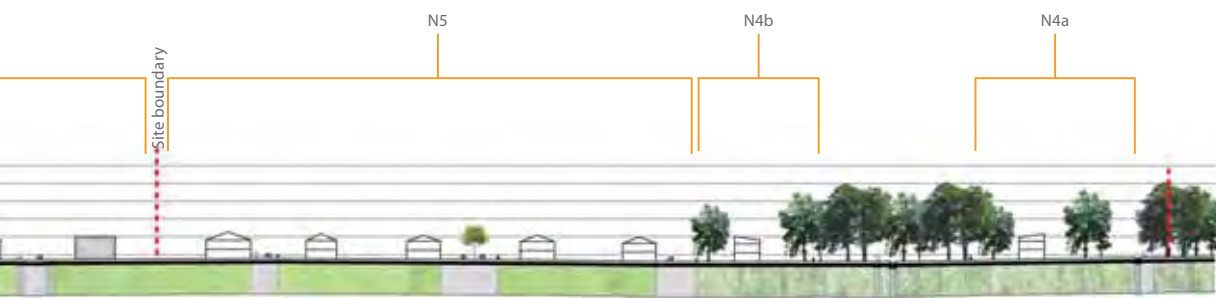


**Section F**  
1:1500@A3



**Section G**  
1:1500@A3





## 4.2 Core Public Space Principles

### Core Public Spaces

This section describes the intended character, function and design principles for the 'Core public spaces' as set out in the Development Framework. A factoring agreement will be implemented by Dandara Ltd for all non adopted areas of public open space.

The names of the spaces are indicative only at this time for reference. There may be opportunities for local input in selecting appropriate names at a later date. Within these key public spaces there could also be opportunities for community art projects and public art.

### 4.2.1 L1 - The Northern River Park

A riverside park within the estate, promoting and encouraging access to the River Don. Incorporating areas of mature Beech woodland and wetland managed with an ecological bias and areas of open space adjacent to the river promoting public access. Connected by a network of paths, including the core path.

#### Function

- Provide a wide range of recreation opportunities including walking, cycling and fishing.
- Encourage integration with surrounding communities.
- Include the northern section of the core path link, connecting Dyce to Stoneywood Estate.
- Provide areas of open parkland space for informal play and amenity open space.
- Provide access to the River Don and opportunities for fishing.
- Provide accessible areas of natural green space within the woodland and wetland areas.
- Incorporate a large Equipped Children's Play Space.
- Protect and enhance the areas of existing woodland.

#### Design Principles

- An appropriate pathway link should be provided to allow access from Dyce and encourage integration.
- The core path must pass through the park area.
- The park must provide a variety of minor path links promoting access throughout the area including access to the woodland area and the River Don.
- The park must include an area of Equipped Children's Play Space in accordance with NPFA LEAP Standards.
- Areas of riverside 'parkland' open space should be provided for informal recreation and include seating.
- The area of Beech Woodland should be retained and managed in accordance with the woodland management plan.
- Access to the riverbank should be kept clear for fishing opportunities.
- The park should contain large areas of undisturbed habitat increasing its ecological value.



ILLUSTRATIVE PLAN OF NORTHERN RIVER PARK



VIEW TO STONEYWOOD HOUSE



BEECH WOODLAND AND WETLAND



CHARACTER IMAGE OF NORTHERN RIVER PARK

### 4.2.2 L2 - Stoneywood Woodland Park

A park consisting of an open space created by the removal of mature conifer plantation and an adjoining area of the mature beech woodland addressed by proposed development. The area of open parkland set within the mature beech woodland creates an attractive and accessible amenity space at the heart of the historic estate.

#### Function

- Provide an area of open space providing for local recreational needs and promoting access to the woodland area.
- Incorporate an Equipped Children's Play Space.
- Provide for informal play, also integrating and utilising the trees for adventure play.
- Accommodate SUDs (Sustainable Urban Drainage systems) facilities as described in Section 3.8.
- Promote a positive relationship between the community and woodland.
- Provide an attractive setting for development and allow light to properties within development block N3.

#### Design Principles

- The space should be designed and managed so as not to impact upon the historic setting of Stoneywood House.
- The space must be designed in association with the design of development blocks N3 and N5. These must address and overlook the space providing natural surveillance, especially to areas of children's play and SUDs provision. Paths should connect directly with routes through these development blocks.
- A SUDs facility must be located within the area of open space formed by the removal of the mature conifer plantation. The SUDs facility should be integrated within the park design and feel part of the space. It should not be fenced but must be overlooked by housing providing natural surveillance.
- Within the woodland area all existing trees must be retained forming an integral part of the park. The woodland must be managed in accordance with the woodland management plan to ensure safe public access.
- The park area must include an area of Equipped Children's Play Space in accordance with NPFA LEAP Standards.
- Areas for seating should be included within the woodland and open space.
- Paths should connect space to the core path network.

### 4.2.3 L3 - Stoneywood Terrace Park

A community park with a character formed by the retained mature beech tree belts and associated stone wall. The space creates a pleasant entrance experience into the southern part of Stoneywood Estate and promotes pedestrian connections between development blocks as well as access to one of the proposed locations for a mixed use centre.

#### Function

- Provide an informal Play/Amenity Open Space.
- Incorporate an Equipped Children's Play Space within the woodland area to the south west of the space.
- Promote a positive relationship between the community and woodland.
- Provide an attractive setting for adjacent properties.
- Create a pleasant arrival experience along the Primary Street.
- Include the core path link through the space.
- Promote links between development blocks.
- Promote access to the mixed use centre.

#### Design Principles

- Properties on the edge of Stoneywood Terrace Park must address and overlook the space, providing an element of natural surveillance and policing.
- All existing trees must be retained forming an integral part of the park. The trees must be managed in accordance with the woodland management plan to ensure safe public access.
- Good pedestrian links to adjacent residential areas and neighbourhood centre must be provided.
- The core path should be aligned to pass through the space. Paths should connect the core public space with the adjacent residential areas and link to the core path network.
- The park area must include an area of Equipped Children's Play Space in accordance with NPFA LEAP Standards.
- Areas of open space should be provided for informal recreation and include seating areas.
- Areas of parking may be included within the edge of the park space however should not dominate or limit access.



ILLUSTRATIVE PLAN OF STONEYWOOD WOODLAND PARK



EXISTING MATURE BEECH TREES



ILLUSTRATIVE PLAN OF STONEYWOOD TERRACE PARK



EXISTING MATURE BEECH TREE BELT

#### 4.2.4 L4 and L5 - Waterton North and South

These areas of mature estate woodland provide an attractive setting for development and combine to create a series of public spaces linking the residential areas.

##### Function

- Retain and enhance the woodland structure of the estate.
- Provide an attractive outlook for the adjacent residential areas.
- Provide an informal Play/Amenity Open Space.
- Promote connections and integration of adjacent development blocks.
- Allow a number of pathways through the woodland connecting residential areas incorporating the core path alignment through this area.

##### Design Principles

- Properties within S2, S4 and S5 should address the woodland and overlook the areas of public space to provide natural surveillance.
- The woodland area should be managed in accordance with the woodland management plan to remain safe for public access.
- Areas should be created within the woodland to allow for informal recreational of the local communities including areas for seating.
- Paths should be provided to connect the spaces with the adjacent residential areas and the core path network.
- Areas of parking may be included within the edge of the park spaces however should not dominate or limit access.



ILLUSTRATIVE PLAN OF WATERTON NORTH AND SOUTH



WOODLAND SURROUNDING DEVELOPMENT BLOCK S4

#### 4.2.5 L6 - The Southern Point

An important amenity for the residents of the southern point, this space will combine a small area of open space with the estate woodland. The core path network will link the space to the wider landscape of the River Don Corridor and views over the River Don should be promoted.

##### Function

- Allow access to experience views over the River Don at the southern part of Stonewood Estate.
- Provide an informal Play/Amenity Open Space with areas for seating and recreation.
- Incorporate an Equipped Children's Play Space in an area of open space overlooked by adjacent houses.
- Protect and enhance the areas of existing woodland.
- Provide an attractive setting and outlook for the adjacent properties.
- Include the core path link and create an attractive entrance space to the estate from the south.
- The southern space could in time form part of a wider landscape area along the River Don connecting other development areas such as Mugiemoss.

##### Design Principles

- Paths and seating areas should be located in areas for people to enjoy views over the River Don.
- Properties on the edge of the Southern Point must address and overlook the space, providing an element of natural surveillance and policing.
- SUDs (Sustainable Urban Drainage systems) facilities should be designed as an integral part of the core space.
- The core path must pass through the park area. Good links should be provided between the residential areas and the core path link.
- The park must include an area of Equipped Children's Play Space in accordance with NPFA LEAP Standards.
- The woodland area should be managed in accordance with the woodland management plan to remain safe for public access.



#### 4.2.6 L7 - Market Street Park

A formal area of open space providing facilities for sport and recreation.

##### Function

The space at Market Street provides a location for a formal sports pitch to replace the facilities currently located on the Polo Fields to the north of Stoneywood Terrace.

##### Design Principles

Facilities to be designed to meet Sports Scotland / SJFA requirements and with regard given to CAA/BAA constraints.

Cut and fill exercise required to minimise import or export of material created from necessary regrading.



DESIGN CAPACITY TEST FOR SPORTS FACILITY AT MARKET STREET  
1:1000  
Indicative only

## 4.3 Key civic spaces and other spaces

### Urban Spaces

This section describes the intended character, function and design of the two 'Key civic spaces' as set out in the Development Framework. This section also illustrates how further small residential spaces and shared surface areas can be achieved within the Masterplan.

#### 4.3.1 Block S2 Civic Space

A key civic space located in conjunction with the Primary mixed use location. Situated at an important nodal point within the site and helps to provide connections and an anchor linking development blocks S1a, S1b and S2.

##### Function

- Create a strong civic environment.
- Provide opportunities for passive recreation.
- Provide space associated with possible retail/leisure/community uses.
- Provide car and cycle parking opportunities.
- Provide space for small urban events.

##### Design Principles

- Design of primary street and space to be considered and designed together. Street should be designed as part of the space, contributing to place creation.
- Space design should be undertaken in association with design of Core Space L3.
- Opportunities for sitting must be included.
- Opportunities for cycle and car parking must be provided.
- Retail/commercial/community uses should address and activate the space.
- A simple palette of materials should be identified and agreed with Aberdeen City Council. Materials should be robust easy to maintain and replace.



#### 4.3.2 Block S6 Civic Space

A key civic space located in conjunction with the additional mixed use centre location 2. Situated to provide a core to block S6 an arrival experience into the site.

##### Function

- Create a strong civic environment.
- Provide opportunities for passive recreation.
- Provide space associated with possible retail/leisure/community uses.
- Provide car and cycle parking opportunities.
- Provide space for small urban events.

##### Design Principles

- Design of primary street and space to be considered and designed together. Street should be designed as part of the space, contributing to place creation.
- Opportunities for sitting must be included.
- Opportunities for cycle and car parking must be provided.
- If applicable retail/commercial/community uses should address and activate the space.
- A simple palette of materials should be identified and agreed with Aberdeen City Council. Materials should be robust easy to maintain and replace.
- The aim for civic spaces will be for them to be adopted by Aberdeen City Council, however a factoring agreement will be implemented by Dandara Ltd for all non adopted public open space.



### 4.3.3 Residential Spaces

**Informal residential spaces following shared surface principles and allowing opportunities for recreation.**

#### **Function**

- Informal recreation
- Amenity

#### **Design Principles**

- Spaces should be addressed by properties to provide passive surveillance.
- Spaces should be carefully designed to ensure they do not become dominated by car parking.
- A simple palette of materials should be identified and agreed with Aberdeen City Council. Materials should be robust easy to maintain and replace.
- The aim for residential spaces will be for them to be adopted by Aberdeen City Council, however a factoring agreement will be implemented by Dandara Ltd for all non adopted public open space.



## 4.4 Development Block Principles

Viewed as a whole Stoneywood Estate will have an cohesive identity and structure. This section however describes the design principles for the individual development blocks.

The guidance on this page covers general development block guidance which should be applied across Stoneywood Estate. The following pages illustrate how these principles transfer to the individual development blocks and also describe specific design principles for each. These aim to ensure each block is rich and legible, creating an urban form with a sense of place and is easy to navigate around.

### Urban design

Good urban design principles should be followed to ensure a legible hierarchy of streets and spaces. Key buildings should be used to create landmarks, define spaces and help orientation.

### Spaces

Appropriate civic spaces should be associated with mixed-use centres. These should have zero or minimal setback to ensure an active frontage and encourage people to use the outdoor space.

A variety of informal spaces should also be created within development blocks at key locations, such as where streets meet. These should be created through variety in the building line creating interesting streets. All spaces should be overlooked, benefiting from passive surveillance.

### Residential streets

Streets should be designed following guidance within 'Designing Streets' considering place before movement. Parking should be integrated into the street design to avoid it becoming over dominant. Adequate access for service vehicles must be provided.



### Architecture

Architecture has an important role to play in creating and defining character at Stoneywood. Well designed, high quality architecture with close attention paid to detail and material selection will play an essential part in the creation of an attractive and desirable place to live. Architecture should also strive towards the highest environmental standards, reducing energy consumption and helping Stoneywood meet its sustainable aspirations.

#### Architectural form

Guidance relating to architectural typologies and form is provided throughout this document, presented through a combination of requirements relating to density, building height, indicative housing mix and design. Generally however architectural form should respond to the proposed hierarchy of streets and spaces and maximise opportunities for passive solar energy gain through a south facing aspect. Generally terraced development running east-west and detached units running north-south allow a larger proportion of buildings to benefit from solar gain. Consideration should be given to both building height and existing trees to minimise overshadowing of properties and spaces.

#### Architectural Style

Within a development of this size there should be a variety of architectural styles across the site which respond to the existing context, proposed hierarchy of streets and spaces and other influences such as existing woodland and listed buildings. Generally a simplicity of detail should be aimed for, avoiding unnecessary 'decorative' frills and add ons. Further guidance on architectural style is given in relation to each development block later in this document.

#### Architectural Materials

The selection of materials across the development should aim to convey a sense of quality, robustness and permanence. Materials should also be chosen which achieve relevant targets for sustainability. Materials should be appropriately chosen to respond to both their existing context, and location within the proposed site layout. Palettes of materials should not be homogeneously applied across the site however care should be taken to ensure co-ordination. Generally use of one colour/material for a large area will be allowed however localised variation along streets and in building clusters is encouraged.

#### Architectural variation

Variation of adjacent building heights, styles and typologies can provide interest within the urban form, creating distinctive streets and attractive roofscapes. Applying homogenous building styles or heights across the site must be avoided. Particular instances will lend themselves to the introduction of special architectural features such as gateway or corner buildings or gable ends creating a focal point.

### Gardens

Where possible gardens should be arranged to benefit from a southerly aspect. Generally gardens on the south facing, northern side of streets should be larger than the south, providing a set back from the street to the public rooms of the house.

### Boundary treatments

Gardens should be suitably enclosed and well defined. Garden walls and hedges should also help define streets and spaces, becoming an important part of the streetscape. A limited palette of materials should be selected that compliment the architecture and provide cohesiveness to the development.

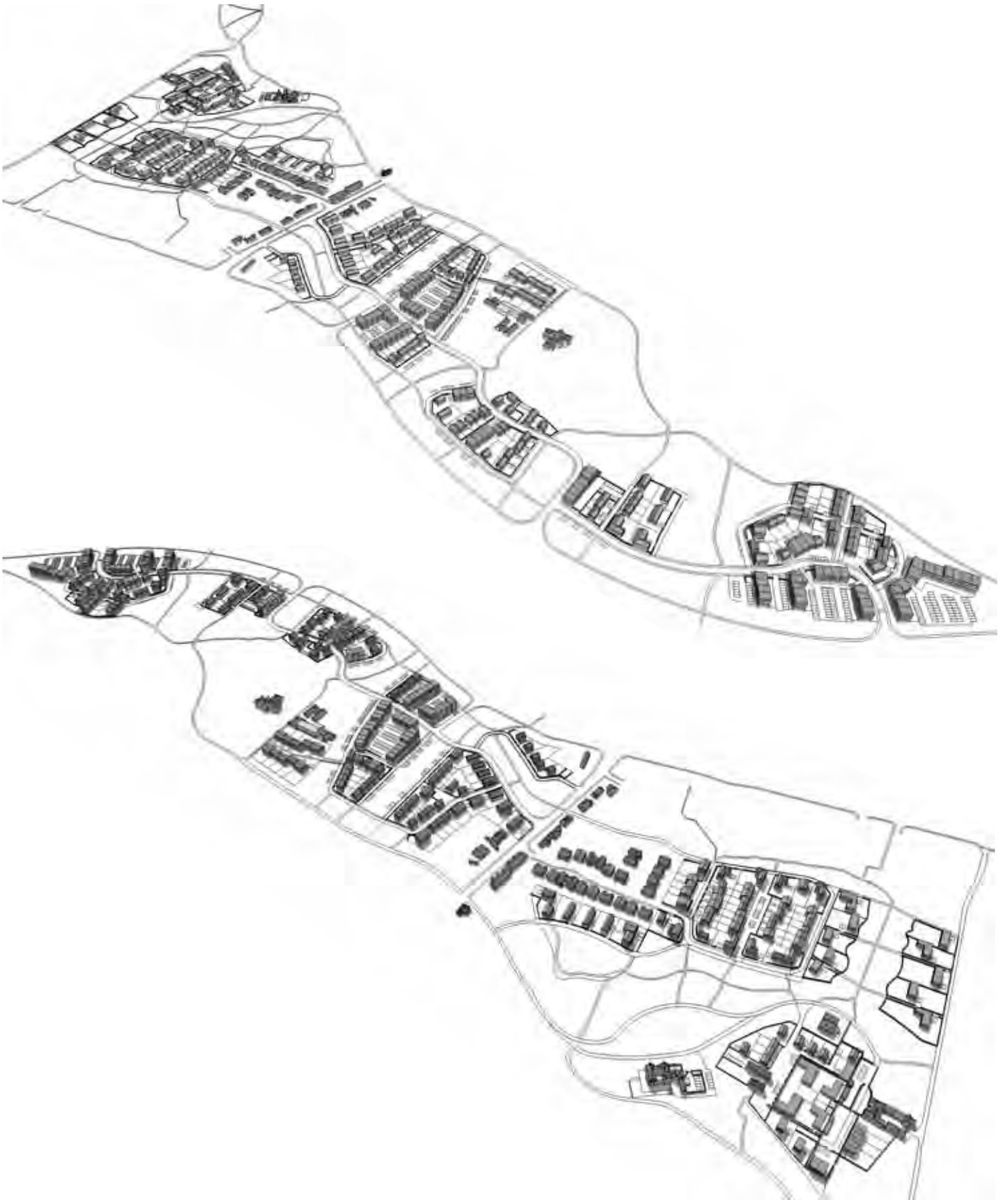
### Woodland

Generally across all development blocks buildings should address the woodland, helping enhance the character of Stoneywood Estate and foster a positive relationship between the community and woodland.

### A947

Generally across all relevant development blocks development should not back onto the A947. A positive face to Stoneywood Estate should be created which will help integration with surrounding communities.





## 4.5 N1a + N1b Design Principles

A high quality conversion of the grade B listed Stoneywood House into up to six apartments plus extension and the grade C listed Stoneywood Lodge into a single house. Respecting the existing setting and driveway approach of the House whilst making sensitive interventions to give the house privacy, allowing it to function properly in its new role as a private apartments.



### 4.5.1 Design Principles for N1a and N1b.

Number of units (range)	Typology mix	Building height	Retained features	Key design principles	Design notes	Principles of architectural materials, form and style
2-11	<ul style="list-style-type: none"> <li>Apartment conversion of Stoneywood House</li> <li>Refurbishment of Stoneywood House Lodge</li> <li>New mews type extension to Stoneywood House within existing courtyard.</li> </ul>	<ul style="list-style-type: none"> <li>As existing for Stoneywood House and Stoneywood House Lodge</li> <li>2 storeys for mews type extension</li> </ul>	<ul style="list-style-type: none"> <li>Stoneywood House</li> <li>Stoneywood House Lodge</li> <li>Lawn and driveway setting</li> </ul>	<ul style="list-style-type: none"> <li>New Estate Road to run around perimeter of Stoneywood House lawn providing access to N2.</li> <li>Existing driveway realigned to provide privacy to ground floor windows of Stoneywood House.</li> <li>Narrow band of highly managed rhododendron retained to maintain driveway setting, define lawn and control views.</li> <li>New hedge to run around perimeter of lawn defining public/private space.</li> </ul>	<ul style="list-style-type: none"> <li>Listed status of buildings and setting must be respected.</li> </ul>	<ul style="list-style-type: none"> <li>Style and form must be subservient to Stoneywood House.</li> <li>Materials should be selected to compliment existing materials.</li> <li>Architecture and build must be of a high quality.</li> <li>Style of new architecture should be distinct from the existing house, aiming to compliment Stoneywood House in a contemporary and sympathetic manner.</li> </ul>

## 4.5.2 Key Design Principles.

### Access and Connectivity



- Proposed Core Path AP6 and NCR 1
- Proposed path network
- Estate drive  
Separated from house lawn by formal hedge.  
(Refer to section 3.6 for design specification)
- Realigned private drive to Stonewood House. Drive pulled away from house to provide privacy to ground floor bay windows.

### Buildings



- A. Existing Stonewood House converted to apartments.
- B. Existing Stonewood House Lodge refurbished.
- C. Sensitive extension to Stonewood House within walled courtyard.  
(See overleaf for Stonewood House development concepts)

### Spaces



- Shared apartment private parking area
- Individual apartment private gardens
- Shared apartment private lawn (providing house setting)
- Individual apartment private terrace

### Spatial Definition



- Stonewood House and Stonewood House Lodge  
Primary buildings within the landscape
- Narrow band of highly managed rhododendron controlling views and defining lawn edge. Formal hedge defining edge of house lawn.
- House arrival and opening out into formal lawn space
- Sensitive extension to Stonewood House
- Views to river
- Views from public Estate Road to house. Views from house outwards terminated by rhododendron edge and mature woodland

### Parking and Servicing



- Parking bay  
(Located behind Stonewood House to avoid spoiling house arrival setting)
- Garage/undercroft parking within new extension  
(Located behind Stonewood House)

### 4.5.3 N1a Character

The intention for Stoneywood House and Lodge (grade B and C listed respectively) and the associated estate drive are to retain and enhance the existing character. Renovations, conversion and minimal interventions will be made to adapt the buildings for their new uses, ensuring that any proposed alterations are subservient to the existing building and respect its setting and landscape character.

Consultation has been progressed with both Historic Scotland and Judith Stones, Lead Curator, Local History and Archaeology with Aberdeen City Council as part of the Environmental Impact Assessment.

The EIA to be submitted for the proposals will include a Cultural Heritage assessment which assesses potential impacts on the Historic Environment. A baseline survey, comprising a desk-based assessment and site walkover survey, was undertaken of all sites of cultural heritage interest potentially affected by the proposed development including the B listed Stoneywood House and the C(s) listed Stoneywood Lodge.

Any proposed changes to listed structures will require listed building consent from the Local Authority prior to the development proceeding and consultation with key consultees will be advanced. Further mitigation through sensitive detailed design and landscaping will be provided within the ES where required.



### 4.5.4 Stoneywood House Potential Extension

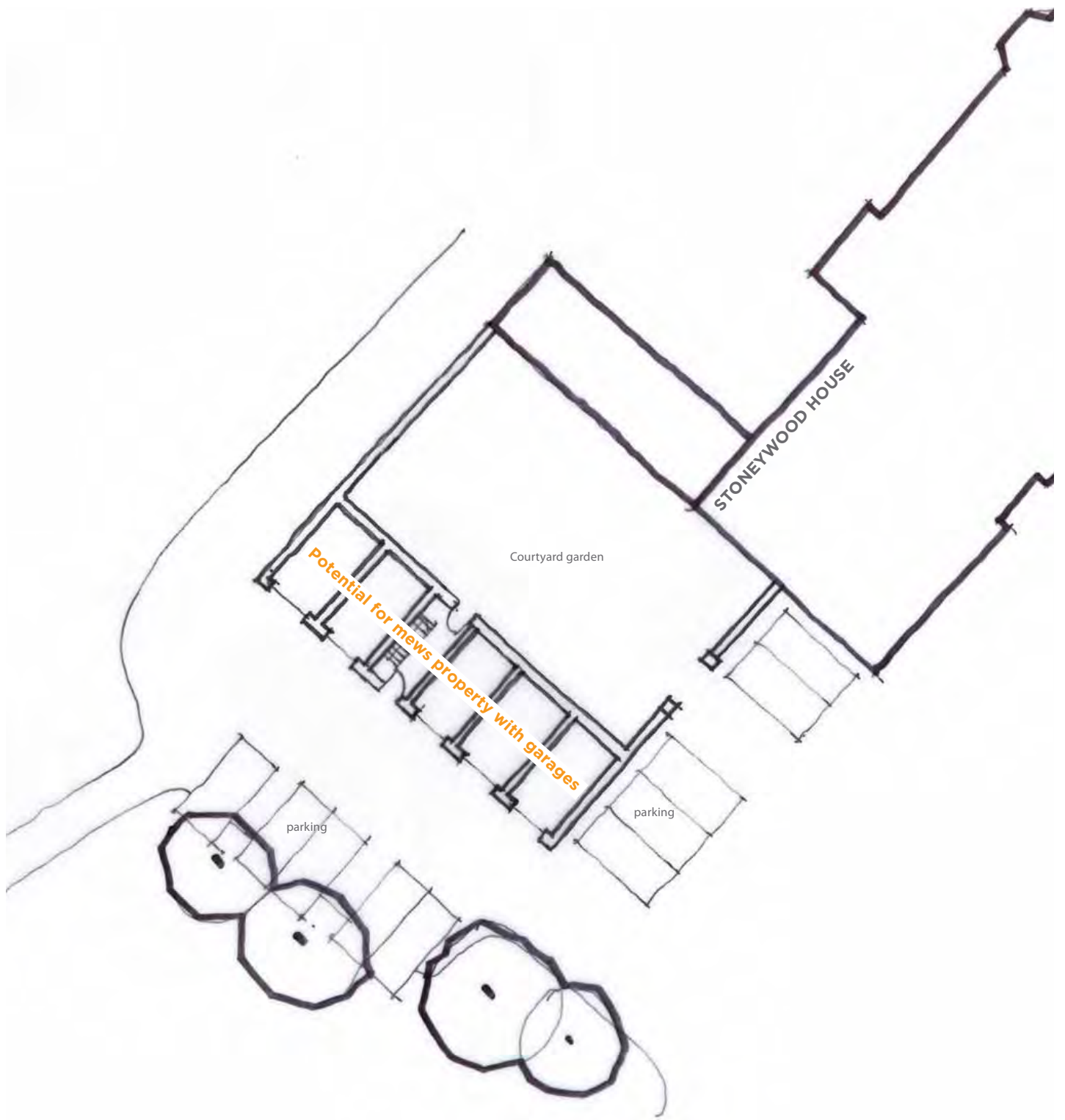
#### Design Principles

- Building form should respect the main house and setting.
  - Simple linear form linking with existing garden wall.
  - Two storey/no higher than adjacent building.
  - Pitched roof
  - Materials; timber, stone and glass.
- Creation of courtyard garden separates new building from the original house avoiding the appearance of another 'add on'.
- The garden wall links the old and the new placing building into an instant setting and making for a subtle intervention which should enhance the overall setting of Stoneywood House.

#### Potential extension option illustrating:

- 5 garages
- one 100m2 mews flat above





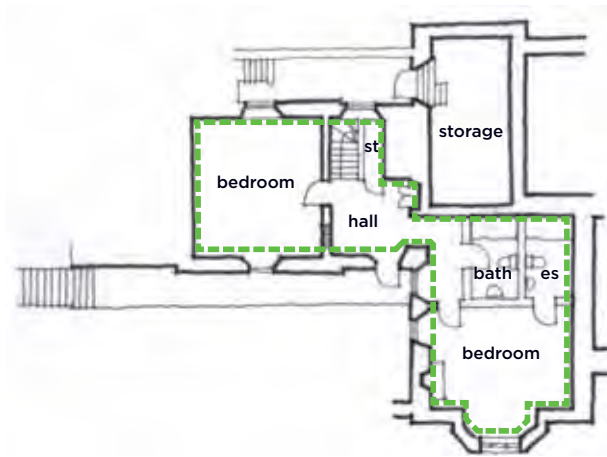
POTENTIAL EXTENSION OPTION FOR STONEYWOOD HOUSE  
Scale approx 1:250

## 4.5.5 Stoneywood House Conversion

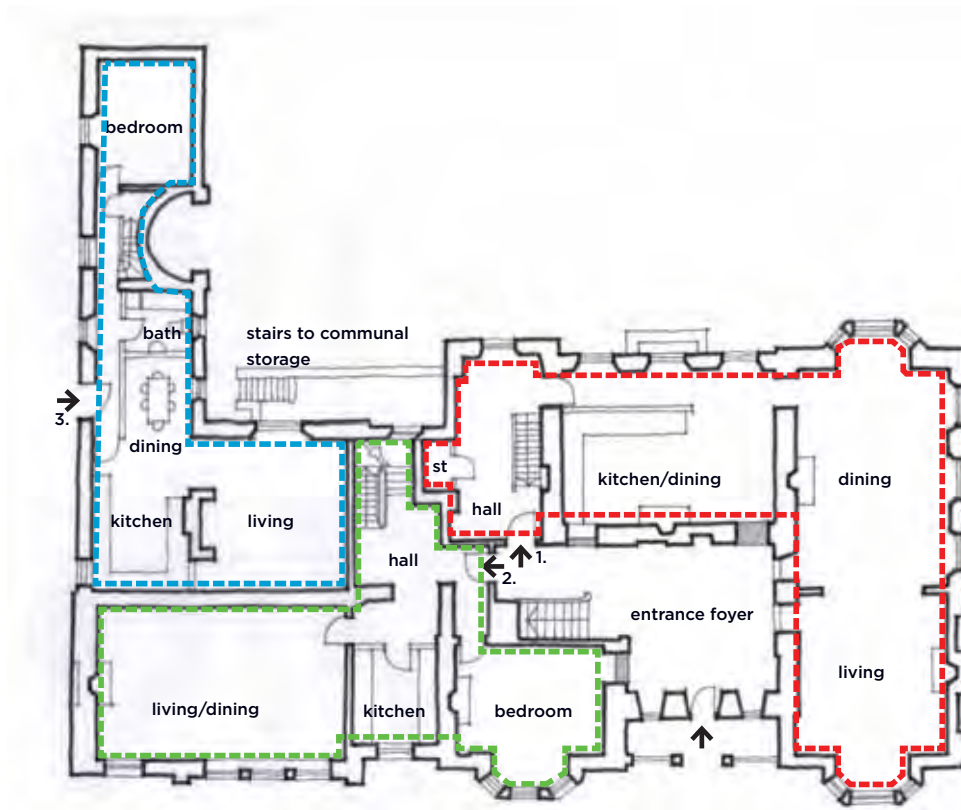
### Design Principles

- Retain/reinstate form of original house. Remove extensions within the walled garden and conservatory on entrance (west) elevation.
- Retain entrance foyer.
- Avoid subdivision of principal rooms.

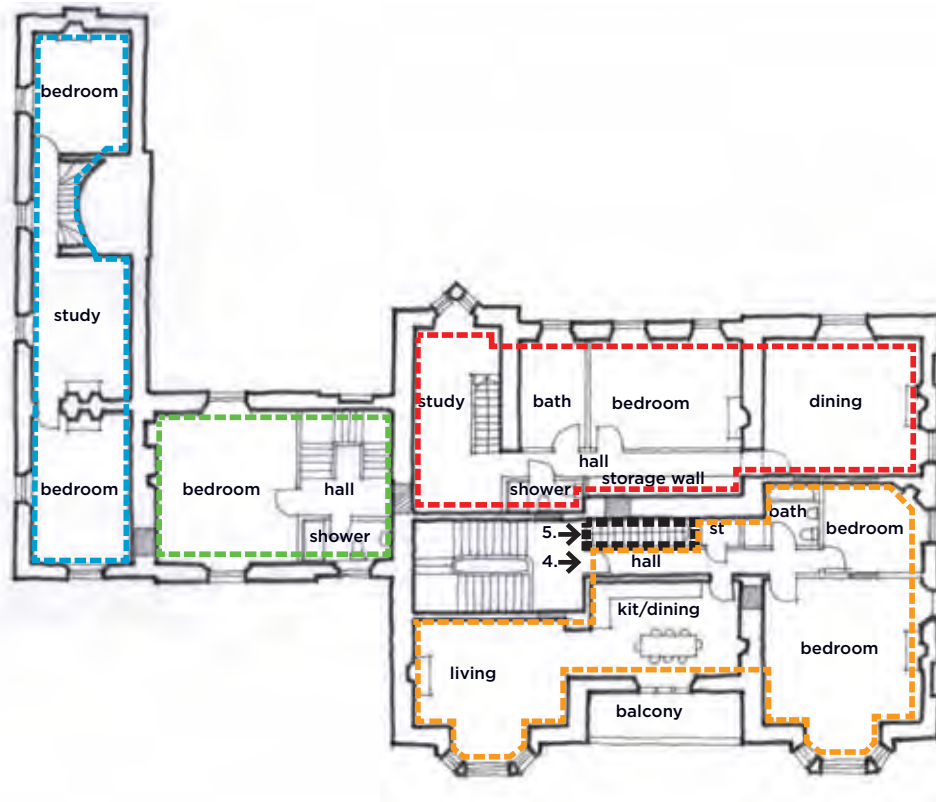
Note: The sketch plans shown illustrate just one possible solution for subdividing Stoneywood House into apartments. The house requires to be fully surveyed and further discussions need to be carried out with the local authority before a definitive design solution is arrived at.



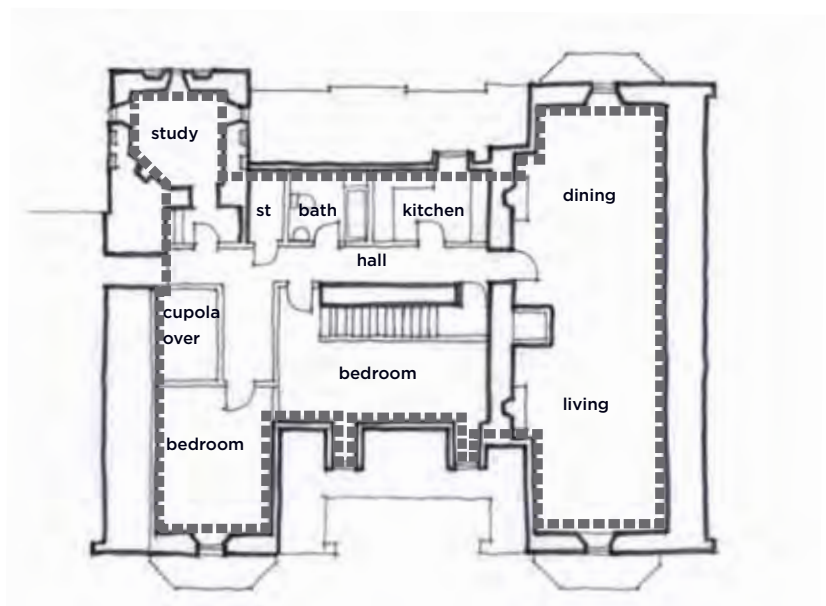
basement floor



ground floor



first floor



attic floor

## 4.6 N2 Design Principles

A **high quality bespoke** development **contained** by existing vegetation and **clustered** around the **existing steadings and walled gardens** of Stoneywood House. Respecting the scale and layout of the existing elements **contemporary architecture** is organised around two intimate, rustic courtyards separated by the walled garden. Inside the walled garden are four large single storey units, creating a sense of **surprise and discovery** upon entry.



### 4.6.1 Design Principles for N2.







Number of units (range)	Typology mix	Building height	Retained features	Key design principles	Design notes	Principles of architectural materials, form and style
20-30	<ul style="list-style-type: none"> <li>Location specific. Refer to buildings diagram.</li> </ul>	<ul style="list-style-type: none"> <li>Location specific. Refer to buildings diagram.</li> </ul>	<ul style="list-style-type: none"> <li>Coach House</li> <li>Potting sheds</li> <li>Walled garden and associated walls</li> </ul>	<ul style="list-style-type: none"> <li>Development generally organised around two courtyards either side of main walled garden.</li> <li>Existing features retained, converting existing buildings for appropriate uses and creating new wall openings as required.</li> <li>Properties inside walled garden to be single storey.</li> <li>The property addressing the main estate road to be of a suitable scale and design and set in designed, manicured garden to provide a sense of arrival to development cluster. (Property must remain subservient to Stoneywood House)</li> <li>Properties to east overlook River Don and benefit from view.</li> </ul>	<ul style="list-style-type: none"> <li>Bespoke design required.</li> <li>High quality materials required in both buildings and landscaping.</li> <li>Close attention to detailed design required, particularly to existing wall interfaces.</li> <li>Buildings to be orientated to maximise opportunity for solar gain.</li> <li>New property boundaries should be formed by stone walls to maintain and enhance the existing character.</li> </ul>	<ul style="list-style-type: none"> <li>Designs must respond architecturally to existing structures.</li> <li>Across this development block a varied palette of materials which both reflects existing materials and provides a contemporary contrast is appropriate.</li> <li>Style and materials should be distinct for each set of building types illustrated in the buildings diagram opposite, creating an overall legible hierarchy of buildings within the cluster.</li> <li>Styles outside the principal walled garden to reference the steading / ancillary usage associated with Stoneywood House.</li> <li>Styles within the walled garden to be contemporary.</li> </ul>



## 4.6.2 Key Design Principles.








### Access and Connectivity



-  Proposed Core Path AP6 and NCR 1
-  Proposed path network
-  Estate drive  
(Refer to section 3.6 for design specification)
-  Walled garden courtyards
-  Semi private drives
-  Private drive to Stonewood House





### Buildings



-  A. Existing building
-  B. Single storey detached contemporary units
-  C. Up to three storey, detached / semi-detached units overlooking river
-  D. Up to two and a half storey, detached 'gardener's house' creating arrival point to development cluster
-  E. Up to two storey, detached units
-  F. Up to two and a half storey 'steading' units
-  G. Up to two and a half storey terrace






### Spaces



-  Shared courtyard. Level surface. Suitable for turning of service vehicles.
-  Private garden
-  Shared garden
-  Walled garden private access





### Spatial Definition



-  Walled garden defines the spatial characteristics.
-  Single storey properties within walled garden create spatial void.
-  Property addressing main driveway to be of a suitable scale and design and set in designed, manicured garden to provide a sense of arrival to development cluster.
-  Taller properties to east overlook River Don and benefit from view.
-  Existing and contemporary steadings create focal points within courtyards.

### Parking and Servicing



-  Parking bays
-  In curtilage parking
-  Garage/undercroft parking
-  Service vehicle turning

### 4.6.3 The character of N2



#### Existing Features

The retention of existing features within N2 are essential to maintaining the character of this area.

Working with the existing spatial definition created by the walled gardens retains the integrity and character of these spaces.

### Character

New homes organised around courtyard spaces formed in part by the existing walls. Single storey buildings hidden within the walled garden retain the impression of a large interior space within the wall. Mature trees enclose the cluster of buildings within N2.



## 4.7 N3 Design Principles

Accessed by a **woodland estate drive** coming off the drive to Stonewood House, a series of **large detached units** back onto the proposed Bancon development and **address** an opening within the **existing mature beech woodland** created by clearance of the mature conifer plantation. Inclusion of SUDS within a **designed open space** creates a valuable outlook for the properties, whilst fronting the space with properties encourages both **public access** and **passive surveillance**.







### 4.7.1 Design Principles for N3.

Number of units (range)	Typology mix	Building height	Retained features	Key design principles	Design notes	Principles of architectural materials, form and style
5-10	<ul style="list-style-type: none"> <li>Detached units.</li> </ul>	<ul style="list-style-type: none"> <li>Maximum 2 storeys.</li> </ul>	<ul style="list-style-type: none"> <li>na.</li> </ul>	<ul style="list-style-type: none"> <li>Development to back onto Bancon development.</li> <li>Development to address open space.</li> <li>End plots in development area to face outwards into retained woodland, avoiding awkward boundary treatments.</li> <li>Woodland Estate Drive to be designed and sited with minimum possible disruption of Beech woodland.</li> <li>Access point off Stonewood House Estate Drive on to Woodland Estate Drive to be treated sensitively. Woodland Estate Drive must be secondary in nature to Stonewood House Estate Drive. Minimum possible intervention to general character of Stonewood House Estate Drive should be made.</li> <li>Language of large detached units facing into woodland to relate to similar properties in N5</li> </ul>	<ul style="list-style-type: none"> <li>Detailed housing layout to be undertaken in conjunction with design of open space.</li> <li>Detailed tree survey required to identify retained trees and route of woodland drive.</li> </ul>	<ul style="list-style-type: none"> <li>Style and materials palette to reference and coordinate with Development Blocks N5, N4a and N4b.</li> <li>Limited palette of materials to be used, which have an appropriate response to the woodland setting.</li> <li>Careful consideration of design, materials and style required to ensure cohesion with adjacent Bancon housing site and also the woodland edge.</li> </ul>

## 4.7.2 Key Design Principles.


### Access and Connectivity



-  Proposed Core Path AP6 and NCR 1
-  Proposed path network
-  Estate drive  
(Refer to section 3.6 for design specification)
-  Shared private drive


### Buildings



-  A. Detached units up to 2 storeys



### Spaces



-  Private garden


### Spatial Definition



-  'Gatehouse' buildings defining entrance into open space along Estate Drive
-  Beech woodland edge creates strong containment of space

### Parking and Servicing



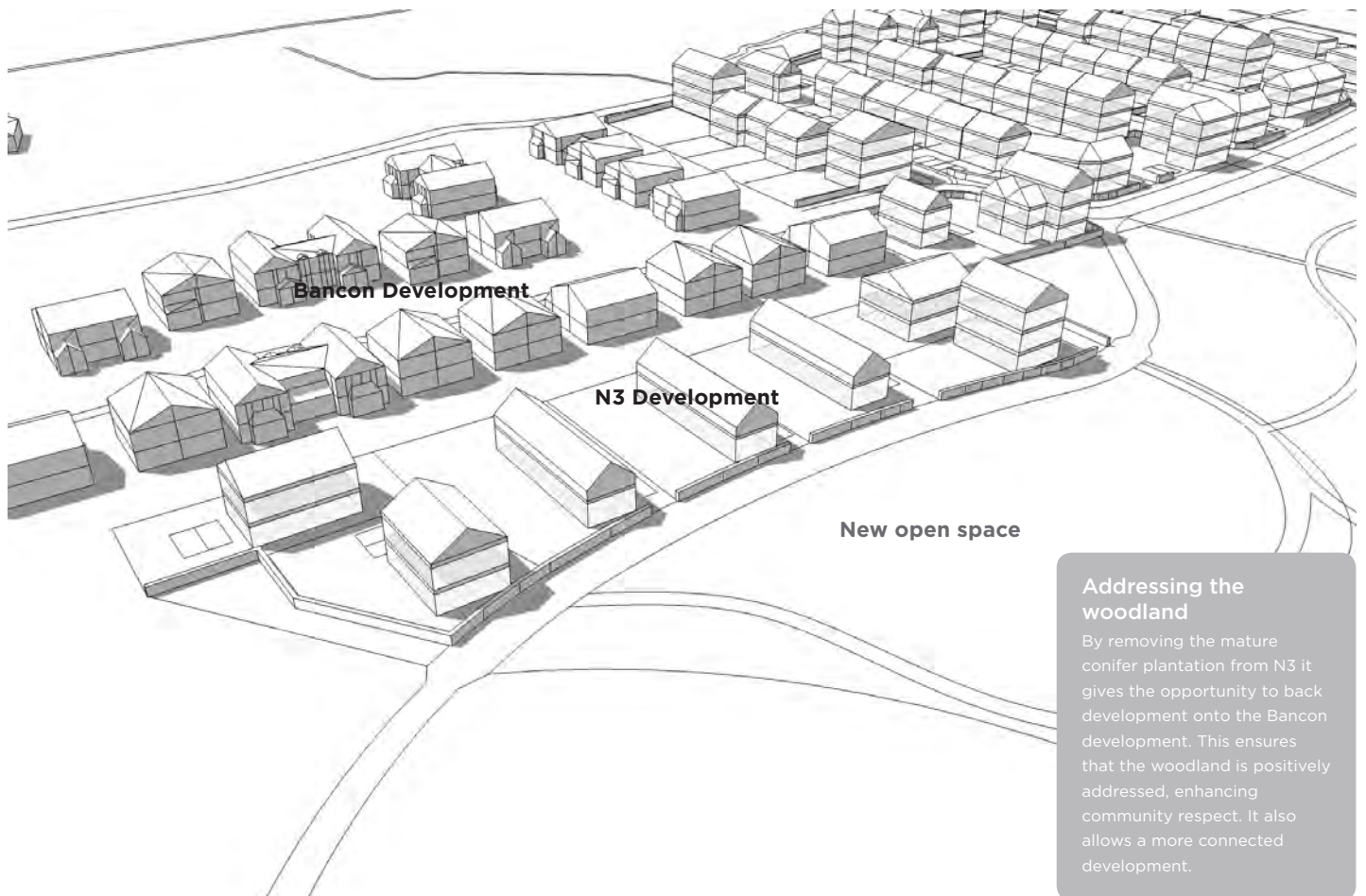
-  Parking within curtilage

### 4.7.3 The character of N3



#### SUDS

A SUDS facility will be located within the open space adjacent N3.



#### Addressing the woodland

By removing the mature conifer plantation from N3 it gives the opportunity to back development onto the Bancon development. This ensures that the woodland is positively addressed, enhancing community respect. It also allows a more connected development.



**Character**

Large plots addressing the new open space created by the removal of the mature plantation woodland. The removal of the plantation woodland allows a greater appreciation of the estate woodland.



## 4.8 N4a + N4b Design Principles

Large detached **bespoke** units sensitively placed within **thinned and managed existing woodland**. Accessed from **woodland drives** which promote **public access** into the woodland area. High quality plot boundary treatment particularly to woodland edge, helping integrate the plots with the woodland.



### 4.8.1 Design Principles for N4a and N4b







Number of units (range)	Typology mix	Building height	Retained features	Key design principles	Design notes	Principles of architectural materials, form and style
4-10	<ul style="list-style-type: none"> <li>Detached bespoke units.</li> </ul>	<ul style="list-style-type: none"> <li>Maximum 2 storeys.</li> </ul>	<ul style="list-style-type: none"> <li>Existing drainage channels within woodland.</li> <li>Area of core woodland between areas N4a and N4b.</li> <li>Selected trees within plots.</li> </ul>	<ul style="list-style-type: none"> <li>Northern area of N4a accessed from Stoneywood Park. N4b accessed through N5.</li> <li>Plots to be arranged either side of woodland tracks which give shared access to units. Woodland tracks to reduce in width into paths providing public access through woodland to link N4a and N4b.</li> <li>Buildings in N4a to be set back from Stoneywood Park by minimum of 10m.</li> <li>Buildings in N4b to be set back from street as appropriate. Buildings could come forward to address the street in locations.</li> <li>Plot boundaries to side and rear of properties to be high quality and integrate with woodland.</li> <li>Plot boundaries to front of N4a to be defined by existing drainage ditch.</li> <li>Plot boundaries to front of N4b to be defined by beech hedges.</li> </ul>	<ul style="list-style-type: none"> <li>Detailed tree survey required to identify trees to retain and positions of proposed housing.</li> <li>Buildings within N4b to address the street within N5.</li> </ul>	<ul style="list-style-type: none"> <li>Bespoke housing required to fit woodland setting.</li> <li>Style and materials palette to reference and co-ordinate with Development Blocks N3 and N5.</li> <li>Limited palette of materials to be used, which have an appropriate response to the woodland setting.</li> </ul>



## 4.8.2 Key Design Principles

### Access and Connectivity



-  Proposed Core Path AP6 and NCR 1
-  Proposed path network
-  Secondary street  
(Refer to section 3.6 for design specification)
-  Lane/shared surface  
(Refer to section 3.6 for design specification)
-  Estate drive  
(Refer to section 3.6 for design specification)
-  Semi private drive


### Buildings



-  A. Bespoke detached units up to 2 storeys



### Spaces



-  Private garden with thinned and managed woodland retained



### Spatial Definition



-  Buildings to be located within cleared pockets of woodland.
-  Opportunities for buildings in N4b to address street

### Parking and Servicing



-  Parking in curtilage
-  Service vehicles to serve properties from ends of semi private drives

### 4.8.3 The character of N4

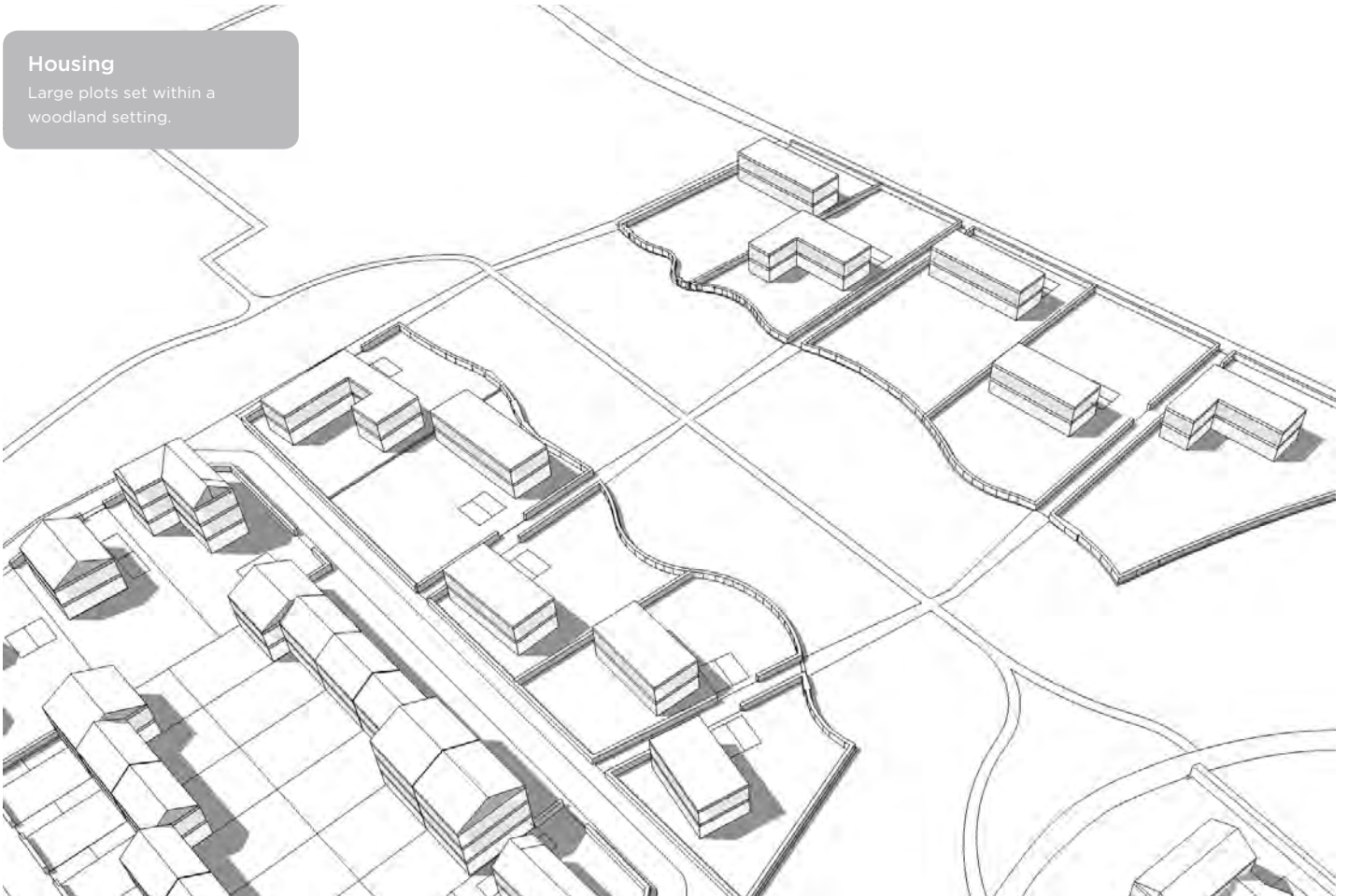


#### Existing Drainage

Existing drainage features within the woodland will be retained and managed as part of the Sustainable Drainage System for the site.

#### Housing

Large plots set within a woodland setting.





### Character

Large plots set sensitively within managed woodland. Glimpsed views of bespoke architecture add to the character of this area.



## 4.9 N5 Design Principles

A **community** of new homes which **adjoin** the Bancon development. Detached units run north - south **addressing the mature woodland belts**. Terrace and semi-detached properties run east - west creating **intimate streets and spaces** with views through to woodland.









### 4.9.1 Design Principles for N5

Number of units (range)	Typology mix	Building height	Retained features	Key design principles	Design notes	Principles of architectural materials, form and style
40-55	<ul style="list-style-type: none"> <li>Predominantly detached units running north - south.</li> <li>Predominantly terrace/semi-detached units running east-west.</li> </ul>	<ul style="list-style-type: none"> <li>Maximum 3 storeys.</li> <li>Generally 2 storey with 3 storey buildings on corners and edges overlooking woodland.</li> </ul>	<ul style="list-style-type: none"> <li>Existing stone lined drain along eastern boundary to be retained.</li> </ul>	<ul style="list-style-type: none"> <li>Properties to address woodland. No properties to back onto woodland.</li> <li>General east-west street structure should be followed.</li> <li>Secondary street to provide access from south (through Bancon development to Stonewood Terrace).</li> <li>All street apart from Secondary street providing access to be designed as shared spaces.</li> <li>Predominantly detached properties running north-south and terrace / semi-detached running east-west.</li> <li>Permeable well connected layout, streets should end in streets and cul-de-sacs should be avoided.</li> <li>Plot boundaries must be well defined by either the building or by walls or hedges.</li> <li>Shared spaces should be designed following home-zone principles, with a shared surface space acting to reduce vehicle speeds and provide an attractive and safe space for pedestrians. Furniture and planting should be used to further reduce the clear vehicle route.</li> </ul>	<ul style="list-style-type: none"> <li>Streets to be designed following principles set out in 'Designing Streets'.</li> <li>Design of streets must take account requirements of emergency and service vehicles.</li> <li>Within the home-zone areas on street parking areas will be required. Marked visitor bays must be identified in suitable areas, so not to conflict with community areas or free movement of vehicles or pedestrians.</li> <li>Properties should generally have large south facing gardens and incorporate in curtilage parking within the garden either behind the plot boundary or to the side of the building so not to dominate the street.</li> </ul>	<ul style="list-style-type: none"> <li>Bespoke housing required to fit woodland setting.</li> <li>Style and materials palette to reference and co-ordinate with Development Blocks N3 and N5.</li> <li>Limited palette of materials to be used, which have an appropriate response to the woodland setting.</li> </ul>

## 4.9.2 Key Design Principles



### Access and Connectivity



-  Proposed Core Path AP6 and NCR 1
-  Proposed path network
-  Secondary street  
(Refer to section 3.6 for design specification)
-  Lane/shared surface  
(Refer to section 3.6 for design specification)
-  Estate drive  
(Refer to section 3.6 for design specification)
-  Semi private drive



### Buildings



-  A. Predominantly detached units up to 3 storeys.  
NB. Careful consideration should be given to the relationship between the proposed units on the north west of development block N5 and the existing properties at Polo Gardens.
-  B. Predominantly semi-detached / terrace up to 2 storeys.





### Spaces



-  Private gardens
-  Shared surface space defined by buildings. North facing buildings to address space with limited set back. South facing buildings to be set back by south facing gardens, giving privacy to primary living space.





### Spatial Definition



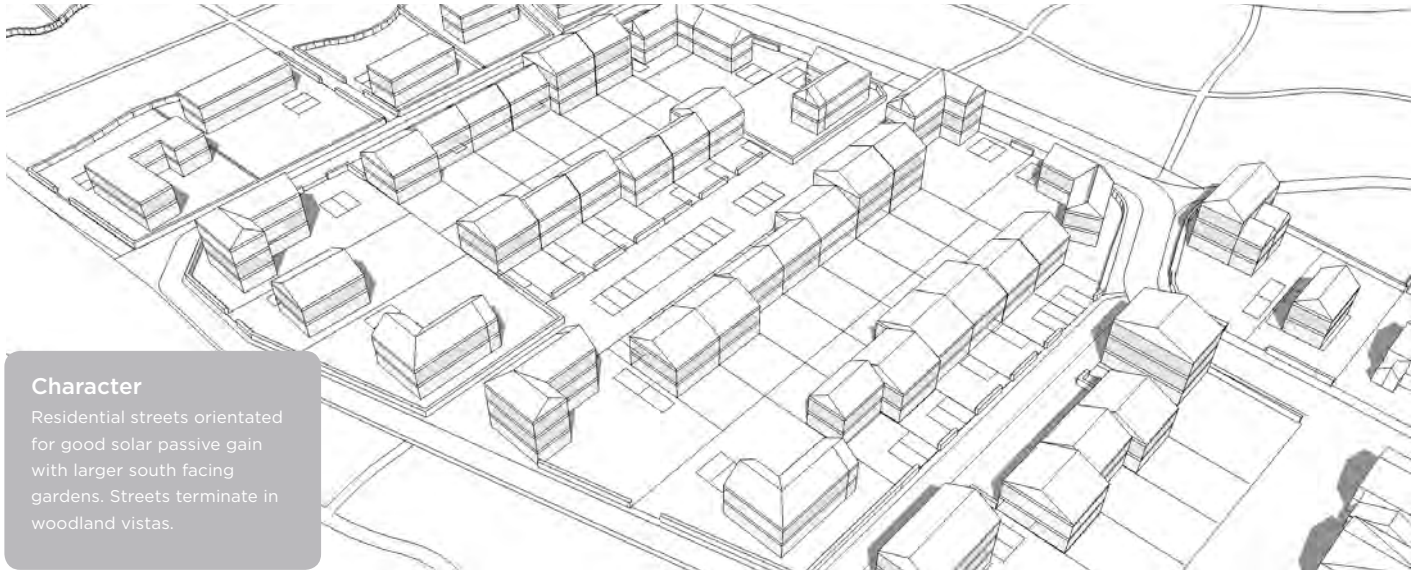
-  Corner blocks giving street definition
-  'Gatehouse' building defining entrance onto Estate Drive
-  Mature beech woodland defines development pocket. Buildings to address woodland.
-  Vistas along east-west streets terminate in woodland views

### Parking and Servicing



-  Garage/undercroft parking
-  Incurtilage parking
-  Parking bays
-  Service vehicle route for serving N4

### 4.9.3 The character of N2



#### Character

Residential streets orientated for good solar passive gain with larger south facing gardens. Streets terminate in woodland vistas.





### Character

The layout of the streets allows housing to address the woodland. Direct links into the woodland area promotes its use for informal recreation. Existing drainage features integrated into Sustainable Drainage Strategy.



## 4.10 S1a + S1b Design Principles

A **connected network of streets and spaces** using the **existing mature tree structure** as an organising framework. Properties benefit from **attractive outlooks** onto existing woodland and the arrangement of properties maximises **passive solar energy gain**.



### 4.10.1 Design Principles for S1a and S1b






Number of units (range)	Typology mix	Building height	Retained features	Key design principles	Design notes	Principles of architectural materials, form and style
S1a • 30-45 S1b • 5-7	<ul style="list-style-type: none"> <li>Predominantly detached units running north-south.</li> <li>Predominantly terrace/semi-detached units running east-west.</li> </ul>	<ul style="list-style-type: none"> <li>Maximum 3 storeys.</li> </ul>	<ul style="list-style-type: none"> <li>Existing stone wall field boundaries to be retained and enhanced.</li> </ul>	<ul style="list-style-type: none"> <li>The primary street should pass through the block, running parallel to the existing fields boundary allowing properties to overlook core space.</li> <li>Building line along Stonewood Terrace to match existing properties.</li> <li>Buildings within S1b must back onto sub-station and existing woodland to overlook core space.</li> <li>Buildings must address woodland areas.</li> <li>Plots backing onto existing properties to be of a reasonable size.</li> <li>A secondary street should provide access between blocks S1a and S2 and should be located to the east of the development block.</li> <li>A path link must be provided within S1a, connecting through the woodland to S2.</li> <li>A shared surface space should allow buildings to address the woodland to the south and should allow some parking adjacent to the woodland.</li> </ul>	<ul style="list-style-type: none"> <li>Streets to be designed following principles set out in 'Designing Streets'.</li> <li>Existing electricity cables to be diverted.</li> <li>Properties should generally have large south facing gardens and incorporate in curtilage parking within the garden either behind the plot boundary or to the side of the building so not to dominate the street.</li> <li>Shared spaces should be designed following home-zone principles, with a shared surface space acting to reduce vehicle speeds and provide an attractive and safe space for pedestrians. Furniture and planting should be used to further reduce the clear vehicle route.</li> <li>Walls and hedges must be used to define areas of private space from public space.</li> </ul>	<ul style="list-style-type: none"> <li>Style and materials palette to reference and coordinate with Development Blocks S2, S3, S4, S5 and S6.</li> <li>Variety of architecture to be included to ensure a varied and interesting urban realm.</li> <li>Architectural design to include contemporary interpretations of vernacular architecture, using traditional materials and avoiding 'add ons'. Close attention to detailing should aim to achieve clean lines and low maintenance requirements.</li> </ul>



## 4.10.2 Key Design Principles



### Access and Connectivity



-  Proposed Core Path AP6 and NCR 1
-  Proposed path network
-  Primary street  
(Refer to section 3.6 for design specification)
-  Secondary street  
(Refer to section 3.6 for design specification)
-  Lane/shared surface  
(Refer to section 3.6 for design specification)



### Buildings



-  A. Predominantly detached units up to 3 storeys.
-  B. Predominantly terraced/semi detached units up to 2 storeys.





### Spaces



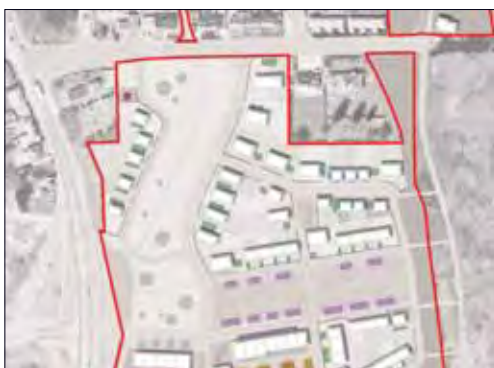
-  Private gardens
-  Shared surface space defined by buildings.





### Spatial Definition



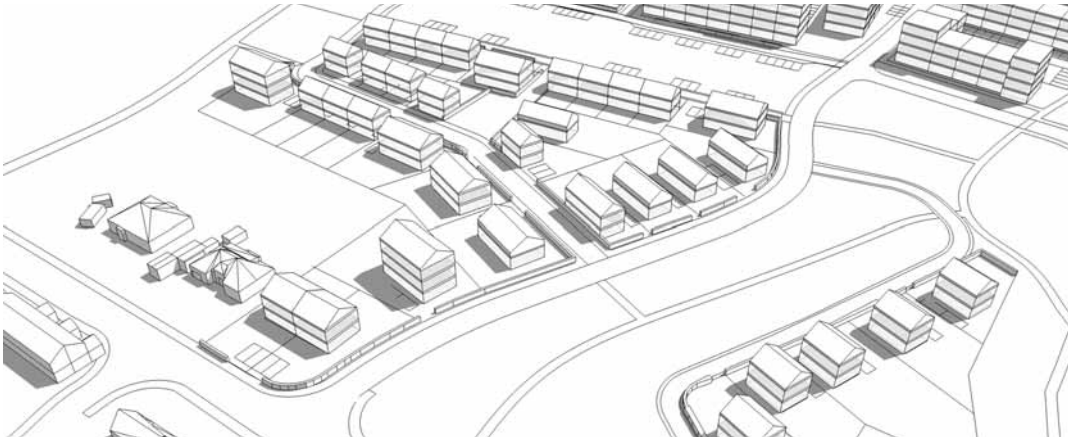
-  Mature woodland defines development pockets. Buildings to address woodland.
-  Corner blocks giving street definition
-  Buildings define informal spaces
-  Vistas along streets terminate in woodland views

### Parking and Servicing



-  Garage/undercroft parking
-  Incurtilage parking
-  Parking bays
-  Potential sub station location

### 4.10.3 The character of S1a + S1b



#### Character

New homes address each other across the strong existing tree belt and open space.

Small residential courtyards within the layout provide opportunities for social interaction.





## 4.11 S2 + S3 Design Principles

A **connected network of streets and spaces** using the **existing mature tree structure** as an organising framework and focussed around a civic space with the potential for mixed uses activating the ground floor. Properties benefit from **attractive outlooks** onto existing woodland and the arrangement of properties maximises **passive solar energy gain**.

A pedestrian controlled crossing should be located on the A947 to provide a safe crossing point to the school and access to existing bus stops.

The current preferred location for a new Health Centre is within S2 as part of the Mixed Use Centre, refer to Infrastructure Delivery Statement.

The mixed use buildings should be organised to define a high quality civic space on the primary street.



Primary road to pass through areas of woodland. Exact alignment of road to be determined by tree survey.

A high quality civic space should be created to allow mixed use buildings to 'spill out' and encourage social interaction.

The spaces must be well defined by the proposed buildings and plot boundaries of walls. Buildings must overlook the space to provide natural surveillance. Where corner units are located, these must address both the space and street.

Development in S3 must ensure the existing walled garden is retained. The buildings should define and overlook a shared space which should include visitor parking and could include a path link.







### 4.11.1 Design Principles for S2 and S3

Number of units (range)	Typology mix	Building height	Retained features	Key design principles	Design notes	Principles of architectural materials, form and style
S2 • 85-105 S3 • 5-12	<ul style="list-style-type: none"> <li>Flats</li> <li>Detached</li> <li>Semi-detached</li> <li>Terrace</li> </ul>	<ul style="list-style-type: none"> <li>Maximum 4 storeys for flats and corner blocks.</li> <li>Maximum 3 storeys for all others</li> </ul>	<ul style="list-style-type: none"> <li>The existing walls of Waterton walled garden.</li> </ul>	<ul style="list-style-type: none"> <li>Buildings to address woodland.</li> <li>The primary street must pass through a mixed use centre, where a public space that should be defined by mixed use buildings.</li> <li>Mixed use buildings should have zero set back and should define the public space, providing active frontages to the public space.</li> <li>Higher density development should be located to the west of the development block either side of the primary street.</li> <li>Parking for the mixed use centre and higher density development should be provided in rear courtyard parking areas.</li> <li>Some on street parking (and bus stops if required) should be provided within the mixed use centre.</li> <li>A change in surface material should define the 'mixed use' centre.</li> <li>A pedestrian controlled crossing of the primary street must be provided within the neighbourhood centre.</li> <li>A secondary street should pass along the southern boundary of the block to connect to S3 and S1a.</li> <li>A single access point should be provided to S3 from S2. The alignment should be guided by a detailed tree survey.</li> </ul>	<ul style="list-style-type: none"> <li>The ground floors of the mixed use blocks should provide active frontages and could include uses such as local shops, community buildings, cafes, bars, a post office and a nursery.</li> <li>The Mixed Use Centre in S2 is the current preferred location for a new Health Centre, refer to Infrastructure Delivery Statement.</li> <li>The mixed use centre must be designed as a high quality civic space.</li> <li>Streets to be designed following principles set out in 'Designing Streets'.</li> <li>The design of the urban structure must ensure that the building layout creates a sequence of distinctive public spaces designed to a human scale, and creating an attractive sequence of public spaces and views.</li> <li>A variety of house types and sizes must be used to create distinctive streetscapes with identity.</li> <li>Walls and hedges must be used to define areas of private space from public space.</li> <li>Most resident parking must be provided through integrated parking within the property or to the side or behind buildings.</li> <li>Streets must be overlooked to provide natural surveillance and excessive lengths of blank walls will not be permitted.</li> </ul>	<ul style="list-style-type: none"> <li>Style and materials palette to reference and coordinate with Development Blocks S1a, S1b, S4, S5 and S6.</li> <li>Variety of architecture to be included to ensure a varied and interesting urban realm.</li> <li>Architectural design to include contemporary interpretations of vernacular architecture, using traditional materials and avoiding 'add ons'. Close attention to detailing should aim to achieve clean lines and low maintenance requirements.</li> <li>Architecture defining civic space to be designed appropriately.</li> <li>Retail/commercial architecture to provide active, attractive and co-ordinated frontages.</li> <li>Community buildings to be designed with appropriate sense of civic nature.</li> </ul>

## 4.11.2 Key Design Principles




### Access and Connectivity



-  Proposed Core Path AP6 and NCR 1
-  Proposed path network
-  Primary street  
(Refer to section 3.6 for design specification)
-  Secondary street  
(Refer to section 3.6 for design specification)
-  Lane/shared surface  
(Refer to section 3.6 for design specification)
-  Courtyard




### Buildings



-  A. Predominantly detached units up to 3 storeys.
-  B. Predominantly terraced/semi-detached units up to 3 storeys.
-  C. Predominantly flatted units up to 4 storeys with potential for mixed use ground floor units.







### Spaces



-  Key civic space along street
-  Shared garden
-  Private garden




### Spatial Definition



-  Mature woodland defines development pockets. Buildings to address woodland.
-  Corner blocks giving street definition
-  Buildings define civic street
-  Building screened from A947 by tree planting but creates corner block giving passive surveillance to path network
-  Visual prominence from A947
-  Vistas along streets terminate in woodland views

### Parking and Servicing



-  Incurtilage parking
-  Parking bays
-  Parking court

### 4.11.3 The character of S2 + S3



#### Civic Space

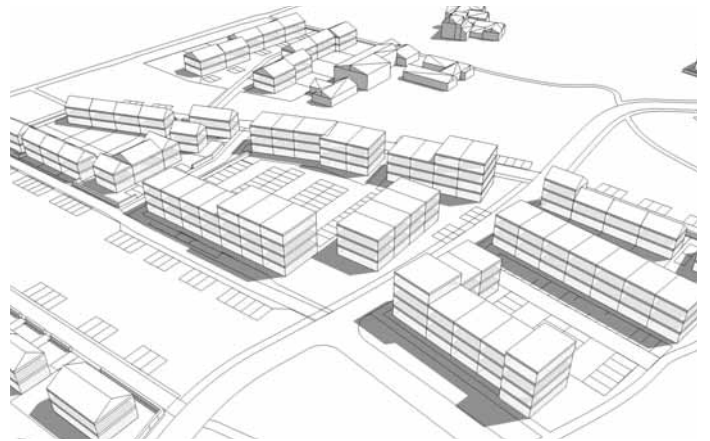
The location of a mixed use centre at a key nodal point creates a centre of activity within the site. Buildings help define an appropriately sized civic space which will be activated by ground floor uses as well as residential uses above. Good visibility from the A947 and connections to the rest of the site will help ensure the success of the area.





### Mixed use

A vertical mixed use which increases density and provides a vibrancy of place. Flexibility of ground floor units allows for the neighbourhood centre to evolve and adapt over time.



## 4.12 S4 Design Principles

Development in this pocket is outward facing, helping **connect neighbouring pockets** across **core public spaces**. The primary street weaves through this pocket of development helping ensure the creation of a **sense of place** and promoting appropriate vehicle speeds. Properties benefit from **attractive outlooks** onto existing woodland and the east-west arrangement of streets maximises **passive solar energy gain**



### 4.12.1 Design Principles for S4







Number of units (range)	Typology mix	Building height	Retained features	Key design principles	Design notes	Principles of architectural materials, form and style
40-50	<ul style="list-style-type: none"> <li>Flats</li> <li>Detached</li> <li>Semi-detached</li> <li>Terrace</li> </ul>	<ul style="list-style-type: none"> <li>Maximum 4 storeys for flats</li> <li>Maximum 3 storeys for all others</li> </ul>	<ul style="list-style-type: none"> <li>na.</li> </ul>	<ul style="list-style-type: none"> <li>The primary street must pass through the block on the alignment shown in the Development Framework.</li> <li>Buildings should be located on both sides of the primary street and should address the street with direct frontage access provided if required.</li> <li>Buildings and plot boundaries should be used to control forward visibility and reduce traffic speeds.</li> <li>Where an area of shared space meets the primary street a change in surface material should be used to highlight the transition for drivers and act to reduce traffic speeds.</li> <li>A secondary street should wrap the development block and ensure that all properties address the woodland, it should connect to the primary street at least two points.</li> <li>Woodland to the west of the secondary road should be retained to provide a screen to the A947 and should be managed in accordance with the woodland management plan.</li> </ul>	<ul style="list-style-type: none"> <li>Streets to be designed following principles set out in 'Designing Streets'.</li> <li>Properties should generally have large south facing gardens and incorporate in curtilage parking within the garden either behind the plot boundary or to the side of the building so not to dominate the street.</li> <li>Shared spaces should be designed following home-zone principles, with a shared surface space acting to reduce vehicle speeds and provide an attractive and safe space for pedestrians. Furniture and planting should be used to further reduce the clear vehicle route.</li> <li>Walls and hedges must be used to define areas of private space from public space.</li> <li>Visitor parking should be located on the secondary street adjacent to woodland areas in blocks of no more than 6 cars.</li> </ul>	<ul style="list-style-type: none"> <li>Style and materials palette to reference and coordinate with Development Blocks S1a, S1b, S2, S3, S5 and S6.</li> <li>Variety of architecture to be included to ensure a varied and interesting urban realm.</li> <li>Architectural design to include contemporary interpretations of vernacular architecture, using traditional materials and avoiding 'add ons'. Close attention to detailing should aim to achieve clean lines and low maintenance requirements.</li> </ul>



## 4.12.2 Key Design Principles




### Access and Connectivity



-  Proposed Core Path AP6 and NCR 1
-  Proposed path network
-  Primary street  
(Refer to section 3.6 for design specification)
-  Secondary street  
(Refer to section 3.6 for design specification)
-  Lane/shared surface  
(Refer to section 3.6 for design specification)
-  Semi private drive




### Buildings



-  A. Predominantly detached units up to 3 storeys.
-  B. Predominantly terraced/semi-detached units up to 3 storeys.
-  C. Predominantly flatted units up to 4 storeys.






### Spaces



-  Civic street and space
-  Shared garden
-  Private garden



### Spatial Definition



-  Mature woodland defines development pockets. Buildings to address woodland.
-  Corner blocks giving street definition
-  Buildings define civic street
-  Building screened from A947 by tree planting but creates corner block giving passive surveillance to path network
-  Vistas along streets terminate in woodland views

### Parking and Servicing



-  Incurtilage parking
-  Parking bays
-  Parking court

### 4.12.3 The character of S4

#### Character

The primary street passes through S4 creating the sense of passing through a place. Building layout and street design has been developed to ensure appropriate vehicle speeds. Zero building set back and high quality plot boundaries help define the street character.



### Character

Building layout addresses the A947 however is visually separated by existing and supplemented planting along the roadside. Path and cycle ways through the woodland help connect adjacent development blocks.



## 4.13 S5 Design Principles

The block creates an **arrival** into the site from the A947 with the potential to accommodate mixed uses within prominent units on the main street. Properties benefit from **attractive outlooks** onto existing woodland and across the Green Burn. The east-west arrangement of streets maximises **passive solar energy gain**.



### 4.13.1 Design Principles for S5

Number of units (range)	Typology mix	Building height	Retained features	Key design principles	Design notes	Principles of architectural materials, form and style
25-40	<ul style="list-style-type: none"> <li>Flats</li> <li>Detached</li> <li>Semi-detached</li> <li>Terrace</li> </ul>	<ul style="list-style-type: none"> <li>Maximum 3 storeys for flats</li> <li>Maximum 2 storeys for all others</li> </ul>	<ul style="list-style-type: none"> <li>na.</li> </ul>	<ul style="list-style-type: none"> <li>A new signalised junction must provide a connection to the A947 in the location shown.</li> <li>The primary street must follow the alignment identified in the Development Framework and pass down the western side of the block.</li> <li>A landmark building formed by either town houses or flats (or mix) should be located on the corner of the primary street on entrance to the site. The corner building must address both the front and side.</li> <li>Buildings should address the areas of surrounding woodland and streets, forming a perimeter with access and parking provided by shared spaces and courtyards to the rear.</li> <li>The existing trees along the western edge must be retained and supplemented with new planting to provide a screen to the A947.</li> </ul>	<ul style="list-style-type: none"> <li>Development to give minimum 10m wayleave to intermediate pressure gas pipes</li> <li>Streets to be designed following principles set out in 'Designing Streets'.</li> <li>Properties should generally have large south facing gardens and incorporate in curtilage parking within the garden either behind the plot boundary or to the side of the building so not to dominate the street.</li> <li>Where buildings define corners there should be at least one window on the gable end to ensure natural surveillance.</li> <li>Shared spaces should be designed following home-zone principles, with a shared surface space acting to reduce vehicle speeds and provide an attractive and safe space for pedestrians. Furniture and planting should be used to further reduce the clear vehicle route.</li> <li>Walls and hedges must be used to define areas of private space from public space.</li> <li>Visitor parking should be provided within bays adjacent to the primary street or in rear courtyard.</li> </ul>	<ul style="list-style-type: none"> <li>Style and materials palette to reference and coordinate with Development Blocks S1a, S1b, S2, S3, S4 and S6.</li> <li>Variety of architecture to be included to ensure a varied and interesting urban realm.</li> <li>Architectural design to include contemporary interpretations of vernacular architecture, using traditional materials and avoiding 'add ons'. Close attention to detailing should aim to achieve clean lines and low maintenance requirements.</li> </ul>

### 4.13.2 Key Design Principles

#### Access and Connectivity



- Proposed Core Path AP6 and NCR 1
- Existing Core Path 4
- Proposed path network
- Primary street  
(Refer to section 3.6 for design specification)
- Lane / shared surface  
(Refer to section 3.6 for design specification)
- Semi private court

#### Buildings



- A. Predominantly detached units up to 2 storeys.
- B. Predominantly terraced/semi-detached units up to 2 storeys.
- C. Predominantly flatted units up to 3 storeys with potential for mixed use ground floor units.

#### Spaces



- Shared garden
- Private garden

#### Spatial Definition



- Mature woodland defines development pockets. Buildings to address woodland.
- Corner blocks giving street definition
- Buildings define street
- Visual prominence from A947
- Vistas along streets terminate in woodland views

#### Parking and Servicing



- Incurtilage parking
- Parking bays
- Parking court
- Potential sub station location
- Service vehicle turning

### 4.13.3 The character of S5

#### Character

S5 helps to define the primary street creating and interesting sequence through the site.





#### The Green Burn

Properties from S5 will look out over an improved and managed Green Burn valley.

#### The Underpass

The underpass adjacent to S5 will be cosmetically improved to provide a more pleasant connection through to Bankhead.



## 4.14 S6 Design Principles

Taller properties along the A947 create an **arrival and rhythm** to the approach to Stoneywood along the A947. Within the block the primary street passes through a **civic space** addressed by buildings with the potential of accommodating **mixed uses** at the ground floor level. The layout is comprised of a **connected network of streets and spaces** with properties benefitting from **attractive outlooks** onto existing woodland.



### 4.14.1 Design Principles for S6

Number of units (range)	Typology mix	Building height	Retained features	Key design principles	Design notes	Principles of architectural materials, form and style
90-125	<ul style="list-style-type: none"> <li>Flats</li> <li>Detached</li> <li>Semi-detached</li> <li>Terrace</li> </ul>	<ul style="list-style-type: none"> <li>Maximum 5 storeys for flats</li> <li>Maximum 4 storeys for all others</li> </ul>	<ul style="list-style-type: none"> <li>na</li> </ul>	<ul style="list-style-type: none"> <li>A new junction must be provided onto the A947 and connect to the primary street on the alignment identified in the Development Framework.</li> <li>A secondary street should wrap the development block with at least two point of connection to the primary street.</li> <li>Flats and higher buildings should be located adjacent to the A947 and designed to address the street, forming landmark buildings at new junction.</li> <li>The primary street must pass through the area identified for mixed use development. Where the street passes through the space a change in surface material should be considered to delineate the space.</li> <li>Buildings with flexible ground floor plans should be located within the mixed use area to allow for local retail and business opportunities. Areas</li> <li>Buildings and continuous plot boundaries should be used to define a civic space within the mixed centre.</li> <li>The civic space should be located on the north side of the street and should contain some off street parking.</li> </ul>	<ul style="list-style-type: none"> <li>Development to give minimum 10m wayleave to intermediate pressure gas pipes</li> <li>Streets to be designed following principles set out in 'Designing Streets'.</li> <li>Where flats are located rear courtyard parking should be used with the buildings overlooking the streets and spaces.</li> <li>When developing a higher density option undercroft and underground parking should be considered to reduce the area of surface car parking required.</li> <li>Properties should generally have large south facing gardens and incorporate in curtilage parking within the garden either behind the plot boundary or to the side of the building so not to dominate the street.</li> <li>The buildings should be predominantly flats, terraces or town houses to ensure a strong building line, with small front gardens and well defined plot boundaries which should be low walls.</li> </ul>	<ul style="list-style-type: none"> <li>Style and materials palette to reference and coordinate with Development Blocks S1a, S1b, S2, S3, S4 and S5.</li> <li>Variety of architecture to be included to ensure a varied and interesting urban realm.</li> <li>Architectural design to include contemporary interpretations of vernacular architecture, using traditional materials and avoiding 'add ons'. Close attention to detailing should aim to achieve clean lines and low maintenance requirements.</li> <li>Architecture defining civic space to be designed appropriately.</li> <li>Retail/commercial architecture to provide active and attractive frontages.</li> </ul>



## 4.14.2 Key Design Principles




### Access and Connectivity



-  Proposed Core Path AP6 and NCR 1
-  Proposed path network
-  Primary street  
(Refer to section 3.6 for design specification)
-  Secondary street  
(Refer to section 3.6 for design specification)
-  Lane / shared surface  
(Refer to section 3.6 for design specification)
-  Semi private drive
-  Parking court




### Buildings



-  A. Predominantly detached units up to 4 storeys.
-  B. Predominantly terraced/semi-detached units up to 4 storeys.
-  C. Predominantly flatted units up to 5 storeys with potential for mixed use ground floor units.






### Spaces



-  Civic street and space
-  Shared garden
-  Private garden





### Spatial Definition



-  Mature woodland defines development pockets. Buildings to address woodland.
-  Corner blocks giving street definition
-  Buildings define street
-  Visual prominence from A947
-  Vistas along streets terminate in woodland views

### Parking and Servicing



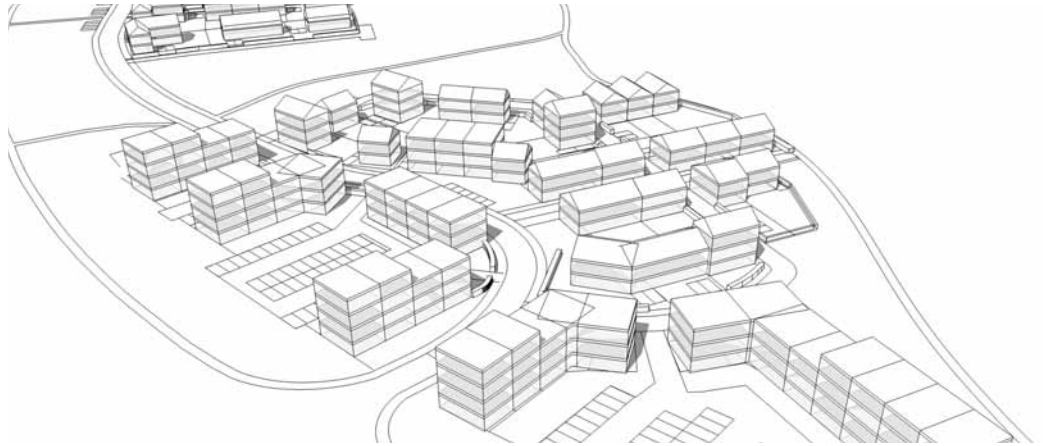
-  Garage/undercroft parking
-  Incurtilage parking
-  Parking bays
-  Parking court

### 4.14.3 The character of S6

#### Character

Views and vistas to woodland are promoted within the layout to enhance the character of the area.

Locating taller buildings addressing the A947 helps to create a sense of arrival into Stoneywood as a settlement.





### Character

The arrival into Stoneywood Estate through a civic space defined by buildings offers a strong contrast to the A947 ensuring that drivers are aware of the residential nature of the streets.



A photograph of a forest with large, mature trees and a forest floor covered in fallen leaves and twigs. The text is overlaid on the left side of the image.

# 5 ■ summary of sustainable design

## 5.1 Sustainable Design

The Development Framework and Masterplan have taken a **holistic view** of sustainability issues in the widest sense, **integrating sustainable design** principles into all aspects of the masterplanning process, from community consultation through concept and to detailed development block principles. This commitment to sustainability is **embedded** throughout this document. All design decisions have been taken with the explicit understanding that decisions made at this stage of the process have the opportunity to **create a successful and attractive place, encourage sustainable lifestyles, reduce energy useage and pollution, provide stewardship of the natural and built environment and help facilitate opportunities for further sustainable design at the detail stage.**

The Development Framework and Masterplan have focused on creating a **well designed and robust guide** for a sustainable development at Stoneywood Estate. This section of the document highlights some of the key principles of sustainable design integrated within the Development Framework and Masterplan and illustrates some of the opportunities created for further detailed sustainable solutions. These opportunities should be considered as the development process progresses to ensure that sustainability is embedded at the appropriate design stage **throughout the whole project.**

DESIGN PRINCIPLES FOR SUSTAINABLE DESIGN	STONEYWOOD ESTATE SUSTAINABILITY FEATURES
Layouts should be designed to minimise reliance on the private car and encourage walking, cycling and the use of public transport.	<p>Design of street networks has been undertaken following Designing Streets Policy, ensuring well connected pedestrian and cycle friendly layouts.</p> <p>The majority of the proposed development at Stoneywood Estate is within 400m of existing bus stops. Pedestrian connectivity to these stops has been considered as a priority. Discussions will be held with Bus Operators to determine how the site can best be served without disadvantaging existing residential areas and especially Stoneywood Junior School.</p> <p>Dyce railway station is located approximately 2km away.</p> <p>Stoneywood Estate will help facilitate the route of Core Path AP6 and the National Cycle Route 1, promoting sustainable modes of transport on a city wide scale.</p> <p>The provision of adequate cycle storage relevant to the size of the dwelling at detailed design stages can help reduce the amount of CO2 emissions generated from short journeys by car by providing an alternative means of transportation.</p>
Existing Buildings should be reused wherever possible and where re-use would contribute to the environment.	<p>Whilst respecting the status and settings of Stoneywood House (Grade B Listed), Stoneywood House Lodge (Grade C Listed) and the Coach House, the intention is to retain the buildings and associated estate drive and enhance the existing character; renovations, conversions and minimal interventions will be made to adapt the buildings for their new uses.</p>
Existing habitat and habitat connectivity should be preserved.	<p>The Stoneywood Estate proposals aim to strike an appropriate balance between preserving areas of core habitat and providing recreation opportunities. Much of the woodland is now in need of a management input to ensure its longevity and the Stoneywood Estate proposals help facilitate this.</p>
Mixed use communities.	<p>Stoneywood Estate will become a mixed use community, offering the opportunity for residents to reduce car travel. Mixed use centres aim to create walkable neighbourhoods and are located at key nodal points within the design ensuring accessibility.</p> <p>The site is in close proximity to Dyce, and it is envisaged that a number of occupants will work in and around this area and therefore will be able to walk/cycle to their place of work.</p> <p>A large portion of the dwellings will provide a space and services allowing occupants to set up a home office facility which will incorporate sufficient space to enable the occupant to set up a desk, chair and filing cabinet or bookshelf with sufficient space to move freely whilst working. Provision will also include power sockets, telephone point (or broadband connection facility), natural daylight and adequate ventilation via a window, with the facility provided within a quiet area of the home typically a study or bedroom.</p>
Housing mix.	<p>Stoneywood Estate will provide a mix of housing typologies and sizes helping to create a diverse community structure with opportunities for residents to remain within the area throughout their housing life cycle.</p>
Consideration should be given to the use of environmentally friendly materials, including the re-use of materials where appropriate.	<p>The choice of materials for Stoneywood Estate has not been fully finalised. However, a few strategic choices have been made to ensure that preference is given to the use of environmentally friendly materials, wherever possible locally sourced and manufactured products will be purchased. We will demonstrate full chain of custody of FSC timber purchased locally:</p> <ul style="list-style-type: none"> <li>• Timber products will be sourced from FSC (Forestry Stewardship Council) or PEFC (Programme for the Endorsement of Forest Certification) sources.</li> <li>• Insulation materials will have a reduced Ozone Depletion Potential (ODP) and a Global Warming Potential (GWP) of zero.</li> <li>• Aggregate will be sourced from local quarries and recycled aggregate will be used where possible.</li> <li>• Timber Staircases will be sourced locally using imported timber.</li> <li>• Internal non glazed solid core panel doors are supplied from a PEFC (Programme for the Endorsement of Forest Certification) source.</li> <li>• Concrete roof tiles will be 'A' rated within the Green Guide to Specification.</li> <li>• External walls are 'comprising of blockwork outer leaf and timber frame internal leaf with cement render finish will have an 'A' rating within the Green Guide to Specification.</li> <li>• Internal stud walls will have an 'A' rating within the Green Guide to Specification.</li> <li>• The potential to increase the recycled content of materials will be investigated during detailed design.</li> </ul>

DESIGN PRINCIPLES FOR SUSTAINABLE DESIGN	STONEYWOOD ESTATE SUSTAINABILITY FEATURES
<p>The orientation, external and internal design of buildings, and use of landscaping, should maximise the use of natural heat and light, contribute to local biodiversity and minimise the use of non-renewable energy sources. The use of renewable energy sources will be actively encouraged. This should not, however, be at the expense of good urban design.</p>	<p>Energy efficient and CO2 emission reduction have been two important drivers for design of the buildings and services. The following low energy approach has been followed to ensure that the 'embedded energy' of the buildings is reduced effectively.</p> <p><b>Orientation &amp; Shape:</b></p> <p>The street layout proposed generally enables properties to be orientated to allow passive solar energy gain through a south facing aspect. Generally terraced development running east-west and detached units running north-south allow a larger proportion of buildings to benefit from solar gain. Consideration has been given to both building height and existing trees to minimise overshadowing of properties and spaces.</p> <p><b>Façade Design:</b></p> <p>The percentage of glazing will be optimised. Optimum glazing means less heat losses in winter and less heat gains in summer, which means less heating and cooling requirements. Moreover, the selection of glazing has been made in order to further reduce energy needs with a U-value meeting the requirements of Supplementary Guidance Resources for New Developments.</p> <p><b>Energy Efficient Services</b></p> <p>Once the 'embedded energy' of the buildings has been reduced, several energy efficient measures will be adopted to ensure that the energy required by the buildings and its occupants is delivered in an effective way.</p> <ul style="list-style-type: none"> <li>• Energy efficient lighting (both internal &amp; external) with efficient controls. (e.g. PIR/time clocks).</li> <li>• Information on energy efficient white goods and the benefits of A/A+ energy ratings.</li> <li>• Ventilation control in bathrooms and kitchens to reduce fan energy when not in use.</li> </ul>
<p>Good thermal insulation should be provided.</p>	<p>Thermal insulation has been covered in the previous section. It can be highlighted that Fabric U-values (glass and opaque materials) and CO2 emissions will meet current Building Standards.</p>
<p>Consideration should be given to measures that will minimise the consumption of water, for example by the re-use of grey water and water saving devices and practices.</p>	<p>Stoneywood Estate will be a water efficient development. A wide range of water saving devices will be provided, including dual flush WC's, reduction flow taps, reduction flow showerheads, water efficient white goods and rainwater storage butts to dwellings as appropriate to enable gardens to be irrigated without the use of mains fed water.</p>
<p>Buildings should be long-life and flexible and capable of being adapted for a variety of other uses with the minimum of disruption.</p>	<p>All buildings will be designed to consider the safety and welfare and convenience of building users, promoting an inclusive environment which everyone regardless of age, disability or circumstance, can make use of safely, conveniently and without assistance to the best of their ability, as such the dwellings will comply with Building Standards Technical Guidance to ensure that appropriate flexibility and potential for future adaptation is built in from day one, and inherently providing the potential for occupants to remain in their own homes further into later life.</p>
<p>Any contamination on a site should be assessed, and if necessary, remediation work carried out to ensure that the site is fit for the used for which it is intended.</p>	<p>Any ground contamination which is present will either be removed, remediated or contained as considered appropriate - thereby improving the quality of the site and ensuring it is fit for the use for which it is intended.</p>
<p>Drying Space.</p>	<p>It is intended to make provision for drying space within all properties, the intention of providing this facility is to encourage occupants to line dry washing rather than use tumble dryers, therefore reducing their energy consumption and proposing a cost saving measure.</p> <p><b>External:</b></p> <p>Drying space to be provided within garden area equal to at least 1.7 linear meters of clothes line.</p> <p><b>Internal:</b></p> <p>Designated space 700x700mm. With volume of at least 1m (equivalent to 1.7 linear meters of clothes line).</p>
<p>Management of Surface Water Run-Off</p>	<p>The surface water drainage requirements for the site have been reviewed with relevant stakeholders. Based on current development guidance the site will require to be drained via an approved Sustainable Urban Drainage system (SUDs) with a separate system for foul and surface water. The SUDs is likely to include a piped drainage system collecting roof, driveway/parking courtyards and road water and treating and attenuating this runoff in detention basins before discharging to receiving water courses. It is considered that this feature may be adopted by Scottish Water and therefore will be required to comply with their standards (Sewers for Scotland 2). Reference is also made to 'The SUDS Manual' (Ciria C697) as this guidance states the relevant number of 'treatment train components' a development requires. It should be noted that as differing levels of treatment apply to runoff from roofs and runoff from roads. It is therefore recommended that a series of SUDs measures are implemented incorporating items such as road side swales, porous surfacing to private and adopted areas and a detention basin prior to connection to the existing network / outfall to the existing watercourses. It should be noted that a detention basin only offers one level of treatment thus meaning that some form of 'upstream' treatment will be required in each catchment. This is in addition to the proposed detention basin serving individual catchments.</p>
<p>Flood Risk</p>	<p>SEPA have been consulted and an understanding of the site issues associated with flooding identified. Early consultation has identified that there are low lying areas of the site that are not appropriate for development due to the proximity to the 1:200 year flood mapping. The development blocks that have been identified are all outwith the SEPA flood zone.</p>
<p>Storage of Non-Recyclable/Recyclable Waste</p>	<p><b>Internal Storage:</b></p> <p>At least three different storage bins will be provided for each property for recycling waste of minimum total capacity of 30 litre; with every bin having at least a 7 litre capacity.</p> <p><b>External Storage:</b></p> <p>Adequate external space will be provided for storing at least three recyclable waste bins with a minimum capacity of 180 litres (where no bin is smaller than 40 litres) and located within a usable distance from an external door.</p>

DESIGN PRINCIPLES FOR SUSTAINABLE DESIGN	STONEYWOOD ESTATE SUSTAINABILITY FEATURES
<b>Construction Site Waste Management</b>	'Good Practice' will be followed on site and in accordance with the 'Demolition and Waste Management Plan' provided as part of the planning application and with the subsequent Planning Permit conditions. The majority of the existing building rubble will be re-used as fill materials within the development, with other waste streams being separated for re-cycling at appropriate facilities.
<b>Construction Site Waste Management</b>	Good Practice' will be followed on site and in accordance with the 'Demolition and Waste management Plan' provided as part of the planning application and with the subsequent Planning Permit conditions. The majority of the existing building rubble will be re-used as fill materials within the development, with other waste streams being separated for re-cycling at appropriate facilities.
<b>Health &amp; Well-being</b>	<p><b>Daylighting:</b> Natural Daylight is a vital element in our daily life. The general pattern of life for humans is to sleep at night and work and play during the daylight hours. Our brain functions and responds to the stimulus of daylight; therefore providing natural daylight into the home environment is of fundamental importance to our well being and artificial light is a poor substitute to the fulfilment of human requirements. For this reason all habitable rooms will be designed to provide adequate natural day light to current Building Standards.</p> <p><b>Sound Insulation:</b> The development contains a mixture of properties to provide a pleasing aesthetic and welcoming place, with detached properties naturally achieving high levels of sound insulation, but adequate sound insulation is always an important factor in the design of all developments, and significant improvements are sought to ensure that noise transmission between party walls and floors of semi-detached and linked properties is minimised.</p> <p><b>Private Space:</b> To improve occupant's quality of home life private spaces are provided to all houses to enable occupants to relax outdoors.</p>
<b>Home User Guide</b>	To enable occupants to understand and operate their home efficiently and to make best use of local facilities a Home User Guide will be provided to each property on completion. The guide will be a simple non-technical document designed to give details on operation and environmental performance including information on the environmental design features, energy and water use, facilities for recycling/ composting and disposal of waste and sustainable DIY, such as the purchase of low Volatile Organic Compound (VOC's) products and certified sustainable timber. Information will also be provided which highlights sustainable travel options.

# 6 ■ phasing strategy





## 6.1 Introduction

The indicative phasing strategy presented in this Development Framework and Masterplan for the development of 350 to 500 homes has been devised to ensure that build-up of a new community is achieved in a coherent and logical way, with the ability for each phase to function prior to future phases being developed. The overall approach to phasing is integrated; in each phase open space provision, streets, services and development are included as appropriate. On completion of the development all phases will combine fulfilling the Masterplan aims to create a well structured and cohesive, accessible place.

A key aspect of the Masterplan for Stoneywood Estate is the management and enhancement of the landscape and existing woodland. It is proposed to implement the Woodland Management Plan across the entire site in the first phase of development ensuring enhancement of the landscape is undertaken in a timely manner to ensure public safety and provide improved amenity and setting for the subsequent phases.

Dandara is aware that the form, location and quality of development at Stoneywood will depend on strong long-term leadership and management to ensure that the overall vision established in the Masterplan is maintained and that ad-hoc and incongruous development is avoided. For this reason it is important to note that Dandara is committed to delivering the proposals itself including both the construction of housing and also regeneration of the estate. This commitment is reflected in the development and implementation of a Woodland Management Plan in discussion with Aberdeen City Council.

Dandara's aspiration is to start on site in the final quarter of 2011 (subject to securing the necessary consents and permissions) with the first house being occupied in Spring 2012. The speed at which development progresses across the site will be dictated by the market however Dandara envisage that the development will be completed in 2019.

The indicative phasing strategy set out on the following pages aims to illustrate the general order in which it is anticipated that development at Stoneywood Estate will occur. The total number of houses illustrated in the phasing strategy is consistent with the range of 350 to 500 homes presented elsewhere within this document. This range allows for some flexibility in housing numbers delivered in each phase. It is important however that the strategy has some degree of flexibility in both timing and program allowing it to adapt in response to evolving context and allow a successful delivery.

## 6.2 Key Principles

The phasing strategy presented in this chapter and illustrated overleaf, sets out four broad phases which illustrate the key principles relating to the delivery of development and infrastructure. The key principles are outlined below:

- An integrated approach which combines open space, roads, services as well as development proposals in each phase;
- Ensuring the management of the estate woodland and enhancement of the landscape is considered in a timely manner to ensure that safety of the public, the longevity of the woodland, access to open space are delivered as appropriate and observing environmental considerations.
- Delivering an appropriate amount of core spaces and public realm proposals simultaneously with development, to help create a new setting and public amenity;
- Beginning construction where development can take advantage of existing infrastructure and where new and existing residents can benefit from any new facilities;
- Ensuring development takes places in a sequence that follows a coordinated approach to woodland regeneration and is not in isolated pockets; helping to create an identity to the estate development;
- Ensuring facilities - local shops /community facilities - are in place early to meet demand.
- Providing proposed bus stops and pedestrian links to the existing urban areas at an early stage in the development
- Ensuring appropriate SUDs facilities are provided (these may require temporary measures) for each phase of development in line with the overall drainage strategy.

In addition to achieving the above key principles, the phasing strategy must have regard for the following considerations:

- Minimising the disruption caused by construction activity to local residents and road users during the development programme.
- Dead, dying and potentially dangerous trees within woodland compartments should be removed as and when necessary for reasons of public safety. These will be identified by an annual tree safety audit. Trees requiring early attention are identified in the detailed Tree Survey of October 2010.
- All woodland management and removal of trees to be undertaken with due regard to environmental considerations (bird nesting season/bats/etc) and required licences as outlined in the EIA.

## 6.3 Woodland Management

A Woodland Management Plan has been prepared by Donald Rodger Associates, arboricultural consultants. As part of the phasing strategy the principles set out in this document should be followed, including any work required urgently and then as specified in the programme of works.

Initially, management work will concentrate on bringing the tree and woodland cover into a safe condition. Dead and dangerous individual trees will be dealt with as a matter of urgency and the arboricultural works specified in the Tree and Woodland Survey attended to as soon as possible for reasons of safety. A safety audit of the woodlands has identified several trees which require early attention for reasons of safety. Initial focus will be directed towards the mature tree population, and particularly the beech component.

Selective thinning operations within most of the compartments are highly desirable for sound silvicultural reasons, and this prescription applies to most compartments. Trees should be marked by an experienced forester prior to thinning work being undertaken. Selective thinning will improve tree quality, adjust species balance and promote conditions for natural regeneration. This will also encourage natural regeneration and a more natural ground flora to develop.

Management proposals are provided, where required, for each woodland compartment, group and specimen tree, setting out a series of management recommendations. This also sets out an initial four year plan of operations, highlighting on the basis of priority the compartments and trees requiring attention.

The management plan will be regularly monitored and reviewed on an annual, rolling basis.

## 6.4 Indicative Phasing

The following Phasing Strategy is indicative only, it aims to illustrate a preferred growth strategy for Stoneywood Estate, balancing development with the management and enhancement of the Estate landscape, provision of key elements of infrastructure and public open space. The timing and detail of each phase should be considered at the appropriate stage (subject to securing the appropriate consents and permissions), however, the principles established here should be used to guide the form and direction of growth ensuring the principles of the Development Framework and Masterplan are realised at each stage of development.

Note:

Housing numbers shown present a possible range for each phase, reflecting 'Potential Residential Units' taken from the Development Blocks (section 3.4) of the Development Framework. The final number within each block will be subject to a detail application.

The phasing of key pedestrian and cycle links including the core path link is not shown on these diagrams however it is intended that throughout the phases, new routes and links will be constructed in association with development, ensuring that as destinations are created they are adequately served with good connections to proposed and existing areas.

### 6.4.1 Phase 1

The first phase of development is focused in two areas, to the north around Stoneywood House and the walled garden and to the south in the areas directly accessed from Stoneywood Terrace. These two areas offer a variety of house types and importantly two different character types that will typify and promote the future development of Stoneywood Estate.

A key aspect of the first phase should be the implementation of the Woodland Management Plan on a site wide basis ensuring public safety.

The development of Stoneywood House could be undertaken within any development phase as appropriate, however the alterations to the grounds should be established within this phase and include a new estate drive running around the perimeter of the House lawn to access N2 (the walled garden) as well as the management of rhododendrons.

The key aspects of the first phase are;

#### Development:

- N1a and N1b (if appropriate).
- Development of N2 the walled garden.
- Development of S1a and S1b.

#### Infrastructure:

- RJ2 Junction improvement on the B947, to allow improved access to Stoneywood Terrace and development areas.
- Improvements to Stoneywood House estate drive and new estate drive access to N2 (the walled garden) required, following perimeter of Stoneywood House lawn.
- Provision of two new junctions on Stoneywood Terrace to provide access south to S1a and S1b including a section of the primary street.

#### Landscape Structure:

- All woodland, site wide, to be improved and managed in accordance with the Woodland Management Plan, ensuring public safety. To be regularly monitored and reviewed on an annual, rolling basis.
- The setting of Stoneywood House and Walled Garden should be improved and enhanced as part of this phase, including woodland adjacent to the driveway.
- L3 - Stoneywood Terrace community park and woodland should be implemented as part of this phase.
- SUDs for phase 1 should be provided as required including temporary solutions that may be required due to limited development.
- Paths within the area identified implemented and connected into existing network.
- Woodland management and removal required specifically for phase 2 development to be undertaken with due regard to environmental considerations (bird nesting season/bats/etc) and required licences.



Development Block	Number of units		Plot Area (hectares)	Residential density range (units per hectare)	Notes
	Min	Max			
N1a	1	10	n/a	n/a	Development dependent on market demand.
N1b	1	1	n/a	n/a	Development dependent on market demand.
N2	20	30	1.69	12-18	
S1b	5	7	0.21	24-33	
S1a	30	45	1.36	22-33	

<b>Total</b>	57	93
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## 6.4.2 Phase 2

The second phase proposes further development to both the northern and southern parts of the estate, offering a mix of housing types.

Development to the north is limited to a few detached properties located within the woodland area W1, accessed from the northern driveway.

The main focus of development within phase 2 will be Block S2 which is a higher density block and will contain opportunity for mixed use service/retail within the development block. This phase also contains a key civic space located in conjunction with the principal mixed use location. Situated at an important nodal point within the site and helps to provide connections and an anchor linking development blocks S1a, S1b and S2.

Core public spaces L1 'The Northern River Park' and L4 'Waterton North' should be provided as part of the second phase of works as well as the core woodland areas identified on the plan opposite. This landscape structure will ensure the residential areas have an attractive setting and suitable access to open space.

The key aspects of the second phase are;

### Development:

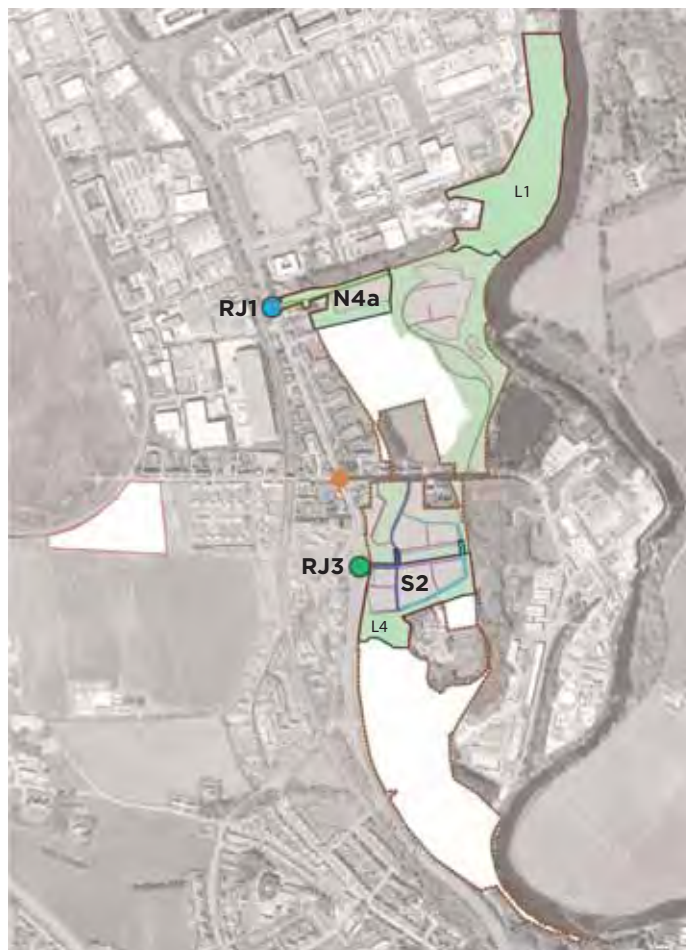
- Block N4a (Block N4b will be provided as the first part of phase 3).
- Block S2, including mixed use development as appropriate.
- Health centre and local pharmacy to be included within Block S2.

### Infrastructure:

- Junction RJ1 will be upgraded along with improvements to the northern estate driveway to provide access to N4a.
- Junction RJ3 and primary street to provide access to Block S2 will be implemented.
- The primary and secondary street sections connecting blocks S1 and S2 should be completed providing access between the two blocks.

### Landscape Structure:

- L1 'The Northern River Park' should be completed during this phase providing a major area of public open space for the existing and proposed communities in the area.
- L4 'Waterton North' should be completed to provide an area of local open space for Block S2.
- The core path connection should be implemented between the Northern River Park and Block S2, connecting into existing networks.
- Paths within the area identified implemented and connected into existing network.
- Woodland management and removal required specifically for phase 3 development to be undertaken with due regard to environmental considerations (bird nesting season/bats/etc) and required licences.
- SUDs for phase 2 should be provided as required including temporary solutions that may be required due to limited development.



Development Block	Number of units		Plot Area (hectares)	Residential density range (units per hectare)	Notes
	Min	Max			
N4a	2	5	0.47	4-11	
S2	85	105	1.72	49-61	

<b>Total</b>	87	110
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### 6.4.3 Phase 3

The third phase of development proposes a wide range of development types both north and south of Stoneywood Terrace. The development of block N5 and N4b will provide a mix of detached, semi detached and terraced housing in the northern part of the estate. Associated with development in this area L2 'Stoneywood Woodland Park' should be completed. This core open space along with surrounding areas of core woodland will see the northern part of the site almost complete with a variety of public open spaces, footpath links and enhancement of the estate landscape structure.

To the south of Stoneywood Terrace Block S3 will be developed providing a secluded high quality residential area within Waterton walled Garden adjacent to the mixed use core.

Block S4 will be developed providing a higher density area with a mix of flats, terraced, semi-detached and detached properties. To provide good access to this development block and connection to the mixed use centre junction RJ4 and the primary street link to S2 will be provided as part of this phase.

A variety of areas of public open space and core woodland improvements should be provided as part of this phase to ensure the residential areas are well served by areas of local open space. L7, the 'Market Street' Park will also be provided as part of this phase providing a neighbourhood open space for both the proposed and existing communities at Stoneywood.

The key aspects of the third phase are;

**Development:**

- Block N5 and N4b.
- Blocks S3 and S4.

**Infrastructure:**

- The estate drive providing access to N5 from Stoneywood House estate drive should be provided.
- Junction RJ4 should be completed as part of this phase.
- The primary street connection between S2 and RJ4 should be completed providing an access loop in the southern half of the site.

**Landscape Structure:**

- L7 'Market Street Park' will need to be provided at the start of this phase prior to starting development at N5, providing a outdoor sports area for the wider community and a replacement facility for the football pitch at Polo Park (Site N5).
- L2 'Stoneywood Woodland Park' should be completed as part of phase 3 along with surrounding areas of core woodland.
- L5 'Waterton South' should be completed as part of this phase providing an area of local open space for Block S4.
- Paths within the area identified implemented and connected into existing network.
- Woodland management and removal required specifically for phase 4 development (woodland area W10 cleared to provide opportunity for development and access to Block N5) to be undertaken with due regard to environmental considerations (bird nesting season/bats/etc) and required licences.
- The complete SUDs network should be completed as part of this phase of works including the detention basin adjacent to N3 and all the detention basins required for development to the south of Stoneywood Terrace.



Development Block	Number of units		Plot Area (hectares)	Residential density range (units per hectare)	Notes
	Min	Max			
N4b	2	5	0.47	4-11	
N5	40	55	1.77	23-31	
S3	5	12	0.47	11-26	
S4	40	50	1.00	40-50	

<b>Total</b>	87	122
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### 6.4.4 Phase 4

The fourth and final phase of development will see both the northern and southern parts of the estate completed. The final development in the northern part of the site will see a small development of low density detached housing provided in development Block N3, an area previously cleared of woodland and accessed from the estate drive to Stonewood House.

To the south of Stonewood Terrace both development Block S5 and S6 will be completed in this phase providing a higher density development mix of housing types in more urban forms, including flats, terraces and town houses. S6 will contain a core civic space and both S5 and S6 include opportunities for mixed use development providing amenity for the development areas.

L6, the 'Southern Point' core area of open space should be completed as part of this phase of work to provide an area of local open space for Blocks S5 and S6. Completion of this phase should see the implementation of the final section of the core path with connection to the existing path network.

The key aspects of the fourth phase are;

**Development:**

- Block N3
- Block S5 and S6 including mixed use development as appropriate.

**Infrastructure:**

- Junction RJ5
- Primary street connecting RJ5 and RJ4.

**Landscape Structure:**

- L6 'Southern Point' will be completed at the same time as Block S6 providing an area of local open space.
- Core path connection from S2 - S6 will be completed in this phase connecting to existing path network.
- Paths within the area identified implemented and connected into existing network.



Development Block	Number of units		Plot Area (hectares)	Residential density range (units per hectare)	Notes
	Min	Max			
N3	5	10	0.37	14-27	
S5	25	40	0.86	29-47	
S6	90	125	2.04	44-61	

<b>Total</b>	120	175
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# 7 ■ infrastructure delivery statement

## 7.1 Infrastructure Requirements for Stoneywood Estate

It is assumed that the scope and extent of many of the Infrastructure Requirements needed from Stoneywood Estate will be concluded through negotiations with Aberdeen City Council regarding Section 75 agreements. The table on the following pages sets out the current requirements taken from the Local Development Plan, Appendix 3, The Action Programme and the Supplementary Guidance, Planning Obligations. The table then aims to summarise these requirements, describing where possible, what, how and when requirements will be delivered and from which different parties collaboration will be necessary to ensure the successful delivery of these infrastructure requirements.

**Aberdeen Local Development Plan - Infrastructure Requirements**

Aberdeen Local Development Plan Appendix 3	Action Programme	Supplementary Guidance, Planning Obligations	
Cumulative Transport Infrastructure	<p>In considering the impact of development on the strategic transport network, applicants shall comply with Delivery and Planning Obligations and Policy T2 - Managing the Transport Impact of Development, as well as any other relevant policy/guidance. In considering the acceptability of proposals, the impact of development on the strategic transport network will need to be assessed. Applicants must demonstrate (e.g. via a Transport Assessment) how they might mitigate any such impact. In appropriate cases, proportionate contributions may be sought to support strategic projects that are related to the developments concerned and that are necessary to make those developments acceptable in planning terms.</p> <p>A legal challenge was lodged at the Court of Session (Inner House) in August 2015 by the Elsick Development Company Ltd and Goodgrun Ltd, against the adoption by the Strategic Development Planning Authority (SDPA) of Supplementary Guidance entitled "Delivering Identified Projects through a Strategic Transport Fund" . The Inner House issued its decision on 29 April 2016 which allowed the appeal. The SDPA has sought leave to appeal that decision from the Supreme Court and, at the time of writing, awaits the outcome of this process. Should the appeal be upheld then the Council retains the right to apply the Strategic Transport Fund policy as per the arrangements set out in the SDPA' s Supplementary Guidance.</p>	<p>Local Development Plan Policy I1 - Infrastructure</p>	
	<p>New road connection from Stonewood development to A947 with new junctions.</p>	<ul style="list-style-type: none"> <li>• New road connection from OP17 Stonewood development to A947 with new junctions.</li> </ul>	
Local Transport Infrastructure	<p>New developments to be served by comprehensive pedestrian and cycle network and frequent public transport services including new and extended services.</p>	<ul style="list-style-type: none"> <li>• Strategic North South formal route through the site connecting to the Farburn in the north to Mugiemoss Mills path network in the south, as well as site OP19.</li> <li>• Contribution towards provision of new pedestrian/cycle bridge across the River Don at Farburn or Mugiemoss Mills.</li> <li>• Contribution towards provision of route from Blackburn to Aberdeen along A96 with connections into Dyce.</li> <li>• As part of the path network provision the site would help facilitate an important link of the Core Path AP6 and National Cycle Route 1.</li> </ul>	<p>As per Supplementary Guidance Planning Obligations</p>
		<ul style="list-style-type: none"> <li>• Frequent public transport services to serve the whole Masterplan area which may include extensions to existing services.</li> </ul>	<p>As per Supplementary Guidance Planning Obligations</p>



## Stoneywood Estate Masterplan Response

Summary and Understanding of delivery requirements	How to be delivered	When to be delivered	Parties involved
			<ul style="list-style-type: none"> <li>Aberdeen City Council, Aberdeenshire Council and Nestrans (The Transport Partnership for Aberdeen City and Shire).</li> </ul>
<ul style="list-style-type: none"> <li>The full list of requirements will be identified following completion of the Transport Assessment for Stoneywood Estate. The Transport Assessment will be submitted with application for Planning Permission in Principle for Stoneywood Estate.</li> </ul>	<ul style="list-style-type: none"> <li>The requirements will be delivered by Dandara unless otherwise identified by the Transport Assessment.</li> </ul>	<ul style="list-style-type: none"> <li>The phasing of the requirements will be identified by the Transport Assessment and linked to the phasing of the development.</li> </ul>	<ul style="list-style-type: none"> <li>Dandara and Aberdeen City Council.</li> </ul>
<ul style="list-style-type: none"> <li>The key requirement is the provision of the strategic north south formal route through the site connecting to Farburn in the north and Bucksburn in the south. The Masterplan identifies an internal footpath and cycle network that will provide links within the development and to areas outwith the site. There is also a requirement to help facilitate a new pedestrian/cycle bridge across the River Don and a link from Aberdeen to Blackburn. The requirements will be checked against the findings of the Transport Assessment.</li> </ul>	<ul style="list-style-type: none"> <li>On site requirements will be delivered by Dandara unless otherwise identified by the Transport Assessment. Off site requirements will be part funded by Planning Gain contributions from the development of Stoneywood Estate and other developments within the area.</li> </ul>	<ul style="list-style-type: none"> <li>The phasing of the requirements will be identified by the Transport Assessment and linked to the phasing of the development.</li> </ul>	<ul style="list-style-type: none"> <li>Dandara and Aberdeen City Council.</li> </ul>
<ul style="list-style-type: none"> <li>The site is currently well served by public transport by bus operators First and Stagecoach/Bluebird. An accessibility assessment has been carried out for the site by Dandara's transport consultants and discussions will be held with the bus operators and Aberdeen City Roads as to how public transport services to the site can be maintained and improved. These discussions will inform the Transport Assessment being prepared and will be submitted with an application for Planning Permission in Principle for Stoneywood Estate. Improvements that will be considered will include bus shelters, bus stopping lay-bys, pedestrian connectivity to bus stops, bus turning areas and bus operating subsidies.</li> </ul>	<ul style="list-style-type: none"> <li>The requirements will be delivered by Dandara unless otherwise identified by the Transport Assessment.</li> </ul>	<ul style="list-style-type: none"> <li>The phasing of the requirements will be identified by the Transport Assessment and linked to the phasing of the development.</li> </ul>	<ul style="list-style-type: none"> <li>Dandara, Aberdeen City Council and bus operators.</li> </ul>

## Aberdeen Local Development Plan - Infrastructure Requirements

Aberdeen Local Development Plan Appendix 3	Action Programme	Supplementary Guidance, Planning Obligations
Education	<ul style="list-style-type: none"> <li>Sufficient spare capacity is likely to be available at Bucksburn Academy to accommodate pupils generated by this development.</li> </ul>	Contributions will be sought from all residential developments where the planning capacity of a school will be exceeded as a result of the development, and cumulatively along with other identified development in the school catchment or the roll is predicted to exceed the maximum capacity of a school.
	Replacement primary school incorporating additional capacity.	<ul style="list-style-type: none"> <li>No capacity to extend existing primary school, but there is an opportunity to provide a replacement School on a new site which should include Nursery and community facilities (including learning satellites).</li> </ul>
Water	<p>Water- Invercarnie and Mannofield WTW.</p> <ul style="list-style-type: none"> <li>There is currently sufficient capacity at Invercarnie and Mannofield WTW. There is easy access to water infrastructure for this site. The storage tank at Overton may need upgrading. Further network investigation will be required.</li> </ul> <p>Waste - Persley PFI.</p> <ul style="list-style-type: none"> <li>There is currently sufficient capacity at Persley PFI to serve this development. A Drainage Impact Assessment will be required to identify the impact on sewers downstream.</li> </ul>	Additional demands from new development on water supply and disposal of water waste may require the upgrade and extensions of existing infrastructure. Refer to Supplementary Guidance for further detail.
Health	<ul style="list-style-type: none"> <li>Land to be identified for New Health Centre in the Dyce/Stoneywood area, to accommodate a 10GP unit for 8 existing GP's with 2 extra GP's to support the developments.</li> <li>Extension for 2 additional Dental Chairs at Dyce Health Centre. This facility could be included as part of the required new Health Centre. 1 new Community Pharmacy.</li> <li>Planning Gain Contributions and Land (where identified) will be required to support. Site identified, requirement for NHS Grampian to take forward.</li> </ul>	Masterplans and planning applications for development will need to reflect the infrastructure requirements identified as well as the means of delivering such infrastructure.
Open Space		<p>Policy NE4 of the Local Development Plan sets out the open space requirements for residential development.</p> <p>2.8 hectares of open space must be provided per 1000 people. This figure will be calculated using the number of bed spaces in the development.</p> <p>The categories of open space include Play space, Outdoor Sports Areas, Natural Greenspace and Green Corridors and Allotments.</p>

## Stoneywood Estate Masterplan Response

Summary and Understanding of delivery requirements	How to be delivered	When to be delivered	Parties involved
<ul style="list-style-type: none"> <li>The Local Development Plan highlights that there is a requirement for a replacement primary school with additional capacity to be provided to serve Stoneywood and the wider area. It is not possible to accommodate a new school within the Stoneywood Estate Masterplan area. Consideration is therefore currently being given by the Council to how this requirement might be provided and a study has been commissioned to examine options and make recommendations on delivery.</li> </ul>	<ul style="list-style-type: none"> <li>The requirements will be delivered by Aberdeen City Council with the assistance of Planning Gain contributions from Dandara and other developers.</li> </ul>	<ul style="list-style-type: none"> <li>The phasing of the requirements will be identified by the Education Study and linked to the phasing of the development.</li> </ul>	<ul style="list-style-type: none"> <li>Aberdeen City Council and Dandara</li> </ul>
<ul style="list-style-type: none"> <li>The full list of requirements will be identified following completion of a Drainage Impact Assessment and a Scottish Water Development Impact Assessment which Dandara will commission.</li> </ul>	<ul style="list-style-type: none"> <li>The developer will be responsible for laying new infrastructure required to serve this development up to the point of connection, as well as any upgrades directly linked to the development's impact on the existing infrastructure. Service pipe infrastructure (Part 1 of the connection process) will be funded solely by the developer. Connections to the Local Main and Waste reservoirs and/or pumping stations (Part 2 and Part 3 assets) will be funded by the developer, whether onsite or off site, and from Scottish Water. Scottish Water will be funded to provide any necessary growth at any associated waste water / water treatment works (Part 4 assets).</li> </ul>	<ul style="list-style-type: none"> <li>The phasing of the requirements will be identified by the Drainage Impact Assessment and Scottish Water Development Impact Assessment and linked to the phasing of the development.</li> </ul>	<ul style="list-style-type: none"> <li>Dandara, Aberdeen City Council, Scottish Water and the Scottish Environment Protection Agency (SEPA).</li> </ul>
<ul style="list-style-type: none"> <li>The requirement is for a new 10 GP Health Centre (including land) to accommodate eight existing GP's with two additional GP's, an extension of Dyce Health Centre to accommodate two additional dental chairs and a new community pharmacy.</li> </ul>	<ul style="list-style-type: none"> <li>The new Health Centre and Community Pharmacy will be delivered on site. The dental chairs will be funded from Planning Gain contributions. The current preferred location for the health centre is within block S2 associated with the Principal Mixed Use Centre however the location, delivery and timing of the new health centre will be developed and coordinated with NHS Grampian.</li> </ul>	<ul style="list-style-type: none"> <li>The phasing of the requirements will be agreed with NHS Grampian and linked to the phasing of the development.</li> </ul>	<ul style="list-style-type: none"> <li>Dandara, NHS Grampian and Aberdeen City Council.</li> </ul>
<ul style="list-style-type: none"> <li>Core woodland, core open space provision and key civic spaces are provided to a standard that is well in excess of the requirements set down in the Local Development Plan. This includes a replacement sports pitch at Market Street Stoneywood.</li> </ul>	<ul style="list-style-type: none"> <li>The onsite requirements will be delivered by Dandara.</li> </ul>	<ul style="list-style-type: none"> <li>The phasing of the requirements will be discussed with Aberdeen City Council and Sport Scotland and linked to the phasing of the development.</li> </ul>	<ul style="list-style-type: none"> <li>Dandara, Aberdeen City Council and Sport Scotland.</li> </ul>

**Aberdeen Local Development Plan - Infrastructure Requirements**

Aberdeen Local Development Plan : Appendix 3	Action Programme	Supplementary Guidance, Planning Obligations
<b>Green Space Network</b>		<p>As stated in Policy NE1 of the Local Development Plan, development which has an impact on existing wildlife habitats, or connections between them, or other features of value to natural heritage, open space, landscape and recreation, must be mitigated either within or outside of the development. As Green Space Network defines the strategic and priority green infrastructure, mitigation measures should be targeted towards the protection and enhancement of Green Space Network. Such mitigation measures could include the following:</p> <ul style="list-style-type: none"> <li>• woodland expansion;</li> <li>• the creation of a high quality landscape structure which supports the development plan spatial strategy;</li> <li>• strategic routes for active travel and recreation;</li> <li>• strategic habitat networks and habitat development projects;</li> <li>• enhancement or creation of open space;</li> <li>• the restoration of vacant and derelict land for green network purposes; and</li> <li>• the integration of woodland, habitat, greenspace and access development with water catchment and coastal zone management.</li> </ul>
<b>Libraries</b>		<p>Where there is deemed to be an impact on current provision from new development, the Council will seek contributions towards the creation of additional accommodation or reconfiguration of existing community facilities. Further detail is provided within the Supplementary Guidance.</p>
<b>Community Facilities</b>		<p>Where there is deemed to be an impact on current provision from new development, the Council will seek contributions towards the creation of additional accommodation or reconfiguration of existing community facilities. Further detail is provided within the Supplementary Guidance.</p>
<b>Air Quality</b>		<p>Local Development Plan Policy T4 states that planning applications for development which has the potential to have a detrimental impact on air quality will not be permitted unless measures to mitigate the impact of air pollutants are included.</p>

## Stoneywood Estate Masterplan Response

Summary and Understanding of delivery requirements	How to be delivered	When to be delivered	Parties involved
<ul style="list-style-type: none"> <li>Measures to mitigate the impact of the proposed development on the wildlife habitats, open space areas, woodland, etc at Stoneywood have been identified through the Environmental Impact Assessment (EIA), which is required to be prepared to support the development proposals and application for Planning Permission in Principle. Many of these measures are identified in the Masterplan.</li> </ul>	<ul style="list-style-type: none"> <li>The requirements will be delivered by Dandara.</li> </ul>	<ul style="list-style-type: none"> <li>The phasing of the requirements have been identified by the EIA and will be linked to the phasing of the development.</li> </ul>	<ul style="list-style-type: none"> <li>Dandara, Aberdeen City Council, Scottish Natural Heritage (SNH) and the Scottish Environment Protection Agency (SEPA).</li> </ul>
<ul style="list-style-type: none"> <li>Contributions are required to be made towards library provision.</li> </ul>	<ul style="list-style-type: none"> <li>Planning Gain contributions from the development will be used by Aberdeen City Council to improve/ upgrade library provision in the area.</li> </ul>	<ul style="list-style-type: none"> <li>This will be determined by Aberdeen City Council.</li> </ul>	<ul style="list-style-type: none"> <li>Aberdeen City Council.</li> </ul>
<ul style="list-style-type: none"> <li>Planning Gain contributions are required to be provided to help fund community facilities (hall or meeting space). These could be provided onsite on one of the areas identified for mixed use within the Masterplan area.</li> </ul>	<ul style="list-style-type: none"> <li>The requirements will be delivered by Aberdeen City Council funded in whole or part by Planning Gain contributions.</li> </ul>	<ul style="list-style-type: none"> <li>The phasing of the requirements will be identified by Aberdeen City Council and linked to the phasing of the development.</li> </ul>	<ul style="list-style-type: none"> <li>Aberdeen City Council and Dandara.</li> </ul>
<ul style="list-style-type: none"> <li>Measures to mitigate the impact of the proposed development on air quality, if required, will be identified through the Environmental Impact Assessment (EIA) which is required to be prepared to support the development proposals and application for Planning Permission in Principle</li> </ul>	<ul style="list-style-type: none"> <li>The requirements will be delivered by Dandara.</li> </ul>	<ul style="list-style-type: none"> <li>The phasing of the necessary requirements will be identified by the EIA and will be linked to the phasing of the development.</li> </ul>	<ul style="list-style-type: none"> <li>Dandara and Aberdeen City Council.</li> </ul>

Aberdeen Local Development Plan - Affordable Housing Provision

Aberdeen Local Development Plan	Supplementary Guidance, Affordable Housing		
	General Notes	Possible categories of Affordable Housing	Delivery of Affordable Housing
<p><b>POLICY H5 - AFFORDABLE HOUSING</b></p> <p>Housing developments of five units or more are required to contribute no less than 25% of the total number of units as affordable housing. Further guidance on the provision of affordable housing from new developments is available in the Supplementary Guidance Affordable and Specialist Housing.</p>	<ul style="list-style-type: none"> <li>For developments of 20 units or more the expectation is that the affordable housing contribution will be delivered on-site.</li> <li>There are a number of different types of affordable housing, The most appropriate type of housing should be guided by the Council's Local Housing Strategy and through discussions with the Council's Planning Gain Officer. Delivering social rented housing is the Council's preference for affordable housing.</li> <li>The Council recognises that as a part of new development there is a need to provide or make financial contribution towards major new infrastructure, such as schools, drainage, water and roads. Where a developer can demonstrate that there are exceptional costs, the requirement for affordable housing contributions may be reduced to ensure the cumulative burden on the overall development does not make the site unviable.</li> <li>Affordable housing should be designed and built to a good standard and built as a part of the development. Units should be built to the same design codes as the rest of the development site. There should be no discernable difference between affordable housing and market housing. In principle, the affordable housing element of new developments should be located close to public transport routes and community facilities.</li> </ul>	<p>Social rented</p> <ul style="list-style-type: none"> <li>Housing provided at an affordable rent and usually managed by a Registered Social Landlord (RSL) or the local authority.</li> </ul> <p>Intermediate housing</p> <ul style="list-style-type: none"> <li>Shared ownership – The owner purchases part of the dwelling and rents the remainder usually from a RSL. The owner can buy tranches of 25%, 50% or 75% of the property.</li> <li>Shared equity – The owner purchases part of the dwelling, with the remaining stake purchased usually by a RSL using Scottish Government grant. Unlike shared ownership, the owner pays no rent for the equity stake which is retained by the RSL. While the RSL does not receive any rental income in respect of their stake, it benefits from any equity gain when the house is sold.</li> </ul> <p>Discounted low cost sale (Low Cost Home Ownership)</p> <ul style="list-style-type: none"> <li>a dwelling sold by the developer at a percentage discount of its open market value to households in the priority client group determined by the local authority. A legal agreement can be used to ensure that subsequent buyers are also eligible buyers.</li> </ul> <p>Housing without subsidy (low cost entry level)</p> <ul style="list-style-type: none"> <li>Nonsubsidised affordable housing is likely to take the form of entry level housing for sale, some built at higher densities and with conditions attached to the missives designed to maintain the houses as affordable units to subsequent purchasers. Homes delivered without subsidy may be considered to fulfil part of the overall affordable housing requirement where it can be clearly demonstrated that they will meet the needs of, and be affordable to, groups of households identified through the housing need and demand assessment.</li> </ul> <p>Mid Market Rented Accommodation</p> <ul style="list-style-type: none"> <li>Rented accommodation that is leased at a discounted level below the Local Housing Allowance, which is set by the Government. The rental price will be a maximum of 80% of the local housing allowance, but will be for the Council, developer and/or RSL to agree.</li> </ul> <p>Other Options</p> <ul style="list-style-type: none"> <li>At this point in time these are the only models for delivery of affordable housing that have been identified. However, this does not rule out the opportunity for new models for affordable housing delivery to be developed and meet the affordable housing requirement. Other options should either be supported by the Government or identified as being able to meet housing need in Aberdeen.</li> </ul>	<p>There are two methods in which the delivery of affordable housing can be delivered on-site: integrated development and transfer of land.</p> <p>Integrated development</p> <ul style="list-style-type: none"> <li>Once an agreement is reached between a developer and RSL or the Council the developer will build the units of affordable housing themselves as an integral part of the development. These units would then be transferred (either as shells or as fully fitted units) to a RSL or the Council for onward management and maintenance. An alternative would be for a developer to build integrated units for discounted sale.</li> </ul> <p>Transfer of Land to a RSL</p> <ul style="list-style-type: none"> <li>In the instance where serviced land is transferred to a RSL or the Council for them to carry out the development of the affordable units, special care must be taken that the different parts of the overall development are successfully integrated and that the area earmarked for the affordable element is not subject to any particular development constraints.</li> </ul>

Affordable Housing

**Stoneywood Estate Masterplan Response**

Summary and Understanding of delivery requirements	How to be delivered	When to be delivered	Parties involved
<ul style="list-style-type: none"> <li>The level of affordable housing required is 25%. The Councils preference is for the units to be delivered on site, but given the numbers involved would wish to see a range of sizes and tenures provided. There is a need for all types of affordable housing, ranging from 1 and 2 bedroom flats through to 3 and 4 bed family accommodation.</li> </ul>	<ul style="list-style-type: none"> <li>The Council will determine this based on requirements at the time of the planning application.</li> </ul>	<ul style="list-style-type: none"> <li>The phasing of the requirements will be discussed with Aberdeen City Council and RSL's and linked to the phasing of the development.</li> </ul>	<ul style="list-style-type: none"> <li>Aberdeen City Council, RSL's and Dandara.</li> </ul>

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